



## STAFF REPORT PLOT PLAN NO. 989

**TO:** Planning Commission  
**FROM:** Public Works & Development Services  
**DATE:** August 22, 2018  
**CASE NO:** Plot Plan No. 989

**APPLICATION REQUEST:** Plot Plan request to allow the construction of a new manufacturing building measuring approximately 172,780 square feet on a 7.78 acre site. Specifically, the proposal will allow for the construction of approximately 156,650 square feet of commercial manufacturing space. An additional 16,130 square feet of office space is proposed within a single building for a grand total of 172,780 square feet. As part of the proposal, the applicant will provide a total of 214 surface parking spaces along with 14 loading docks and corresponding large vehicle parking spaces. Additional entitlements are not required for this proposal. Pursuant to Chapter 19.39 Division 10 (Site Plan Review) of the Commerce Municipal Code (CMC), a Plot Plan Review is required for any new building or structure in excess of 25,000 square feet in area.

**PROPERTY LOCATION:** 7316 East Gage Avenue  
Commerce, CA 90040

**APPLICANT:** Comstock Gage, LLC  
1801 Century Park East, Suite 1095  
Los Angeles, CA 90067

**STAFF RECOMMENDATION:** Approve Plot Plan No. 989 with the Specific Findings, Conditions of Approval, and adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program in compliance with the California Environmental Quality Act (CEQA).

**PUBLIC HEARING NOTICE:** Notice was published in the Cerritos News on August 2, 2018 and mailed out to property owners within 500 feet of the subject property.

**ATTACHMENTS:**

- A) Specific Findings for Plot Plan
- B) Conditions of Approval
- C) Mitigation Monitoring and Reporting Program
- D) Initial Study/Traffic Analysis

**LAND USE, ZONING AND APPLICABLE REGULATIONS:**

<b>Project Site – 7316 East Gage Avenue</b>	
General Plan Designation:	Industrial
Zoning:	C/M-1 (Light Industrial)
Applicable Zoning Regulations:	Commerce Municipal Code Chapter 19.11, Manufacturing Zones; CMC Chapter 19.19, Development Standards; CMC Chapter 19.21, Off-Street Parking; CMC Chapter 19.23, Landscaping; CMC Chapter 19.39 Division 10, Site Plan Review; CMC Section 19.39.680 Basis for Approval.

**SURROUNDING ZONING AND LAND USES:**

<b>Direction</b>	<b>Zoning</b>	<b>Land Use</b>
North	Caltrans Property	Interstate Five
South	PF	Veterans Park
East	City of Downey	Rio Hondo Wash
West	M-1	Office

**ENVIRONMENTAL ASSESSMENT:**

An Initial Environmental Study was prepared by Environmental Science Associates (ESA) for the project (Attachment D) in compliance with the California Environmental Quality Act (CEQA) and was made available for public review and comment from August 2, 2018 through August 22, 2018. The Study determined there could be impacts related to impacts from Transportation and Traffic, but through the incorporation of mitigation measures, these impacts would be reduced to less than significant levels. Impacts to all other study areas were found to be less than significant. A Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program have therefore been prepared for the project.

**PROPERTY DESCRIPTION:**

The project site is currently an undeveloped parcel of land located at the southernmost portion of the City and is accessed via East Gage Avenue South, a city road that connects to Gage Avenue. The site measures approximately 7.8 acres (339,000 square feet). It is generally flat in nature and is situated in the City's Commercial Manufacturing Zoning District (C/M-1). The subject site is a closed solid waste landfill as registered with the California Department of Resources and

Recycling (Site Number 19-AA-5543). Up until 1954 the site was accepting municipal solid wastes, construction debris, and inert fill. After closure, and in 1958, an approximate 52,000 square foot commercial building was built and operated until it was vacated in 1991. The following year (1992), the building was demolished and the site has since remained vacant.

An image of the project site is shown below, outlined in yellow:



## BACKGROUND AND ANALYSIS:

The applicant Comstock Gage, LLC, is requesting approval of a Plot (Site) Plan to allow the construction of a new manufacturing building measuring approximately 172,780 square feet within the City's C/M-1 zone and on a site measuring 7.78 acres in size. Of the 172,780 square feet proposed, approximately 156,650 square feet will be devoted to commercial manufacturing or processing, while an additional 16,130 square feet will be used for office space that is ancillary to the manufacturing activities proposed at the subject site. The building area footprint is proposed at 165,068 square feet. As part of the proposal, the applicant will provide a total of 214 surface parking spaces, where 211 spaces are required along with 14 loading docks and corresponding large vehicle parking spaces.

Pursuant to Chapter 19.39 Division 10 (Site Plan Review) of the Commerce Municipal Code (CMC), a Plot Plan Review is required for any new building or structure in excess of 25,000 square feet in area. Additional entitlements are not required for this proposal.

Per the applicant's operation letter that was submitted in conjunction with the submittal, the applicant intends to offer a Class A industrial building to one or more prospective tenants intending to provide for industrial support services and light manufacturing uses that are permitted by right or conditionally in the C/M-1 Zoning District. The interior of the building is designed with an interior vertical clearance of 36 feet in order to allow for the configuration of manufacturing equipment such as heavy cranes, Computer Numeric Control (CNC) machines as well as include options to configure the space to accommodate high-pile storage racking.

When complete, the applicant anticipates a building that will be capable of operating 24 hours a day, while being able to accommodate as many as 150 employees.

### **Physical Improvements**

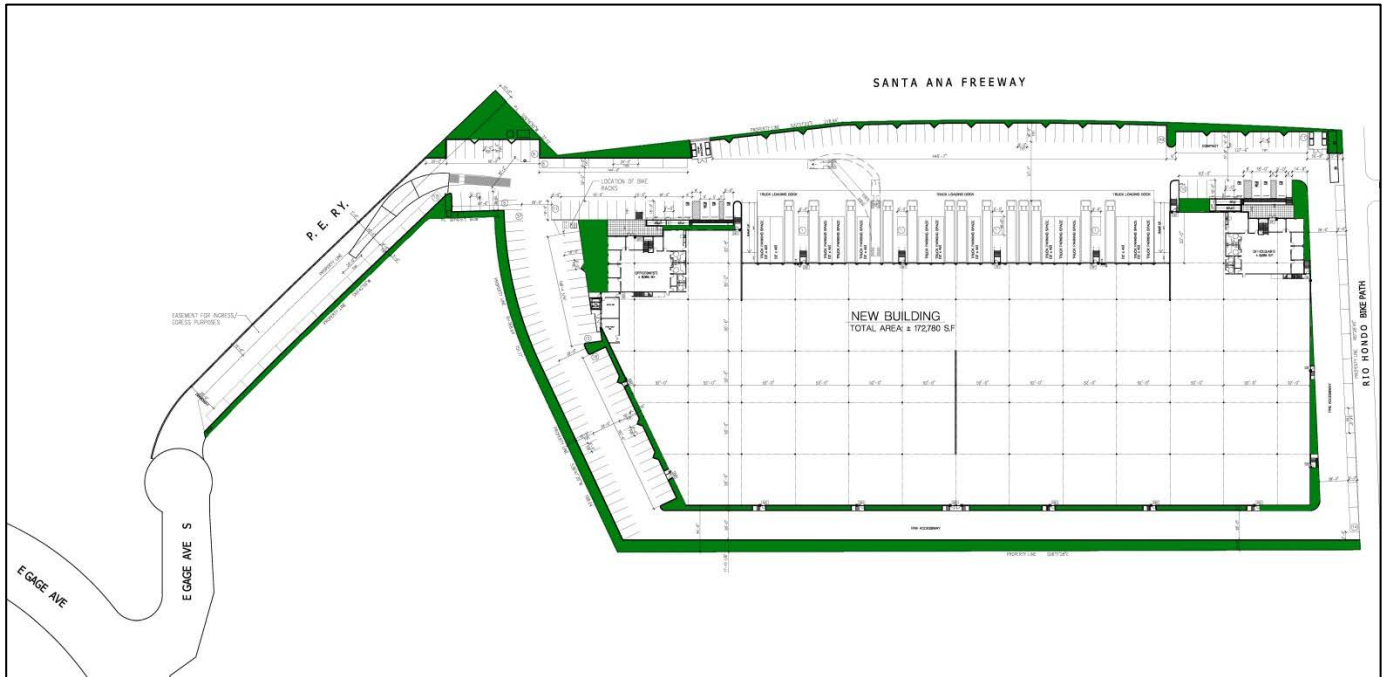
As mentioned, the proposal includes the construction of a new manufacturing facility with a building footprint of approximately 165,068 square feet. Within the footprint will be office space measuring 16,130 square feet between the two floors. Some of the highlights of the proposal will consist of the following elements:

- 156,650 square feet of manufacturing space.
- 16,130 square feet of office space that will be used as administrative office space for the subject use.
- The proposed height of the building will be 44 feet as measured from finished grade.
- The building will be treated with various design elements to aide in addressing any concerns related to bulk and mass.
- The building will provide a well-articulated entrance where most of the administrative office space will be located.
- The entrance will make achieve considerable fenestration, by providing large windows and use of doors at the area that is to be designated as the main entrance.
- The new building will be situated to take street frontage from East Gage Avenue South, which is connected to Gage Avenue. A driveway from East Gage Avenue South with a minimum width of 30 feet will provided egress/ingress to the site.



- The soil at the subject site will be remediated in accordance with previous environmental work prior to any construction activities taking place.
- A total of 214 parking spaces for employees will be provided via a surface parking area where 211 parking spaces are required.

The project's site plan is shown below:



**Development Standards, Parking and Maneuvering**

The proposed manufacturing building will comply with all of the City's basic development standards. As such, the footprint and envelope of the building will be in compliance with the limits afforded by the Zoning Ordinance. This also includes providing the minimum setbacks, conform to height, lot coverage, and floor area ratio requirements. The table below shows the minimum requirements pursuant to the CMC, as well as the applicant's proposal.

DEVELOPMENT STANDARD	REQUIRED	PROPOSED
Min. Lot Area	20,000 square feet	339,000 square feet
Max. Building Height	None Required	44 feet
Minimum Front Yard	5 feet	45+ feet
Minimum Side Yard	None Required	28 feet
Minimum Rear Yard	None Required	28 feet
Max. Lot Coverage	50%	48%
Floor Area Ratio (Minimum)	2 to 1 (678,000sf)	172,780 square feet.

As part of its review, staff has to determine that the use will conform to the permissible parking requirements identified in Chapter 19.21 of the Zoning Ordinance. The purpose of the parking and loading requirements are to ensure all land uses in the City provide adequate off-street parking facilities, loading areas, and vehicle movement areas associated with a use. The intent of these regulations is to ensure that the use of land does not interfere adversely with the circulation of public rights-of-way, that private on-site circulation does not pose a potential safety issue, and that surrounding uses are protected from the noise and traffic impacts associated with off-street parking and loading activities.

Parking will be required at one parking space for each 1,000 square feet of manufacturing floor area and one parking space for every 300 square feet of office space. Also, one truck parking space is required for each loading bay (dock door). Below is a parking breakdown which details the square footage and parking requirements for the subject project:

USE	PROPOSED S.F.	REQUIRED	PROPOSED
Manufacturing (1/1,000 sq.ft.)	156,650 sq.ft.	157 spaces	157
Office (1/300 sq.ft.)	16,130 sq.ft.	54 spaces	57
<b>TOTAL</b>	<b>172,780 sq.ft.</b>	<b>211 spaces</b>	<b>214</b>

TRUCK PARKING	REQUIRED	PROPOSED
One large parking space per loading bay	14 space	14
<b>TOTAL</b>	<b>14 spaces</b>	<b>14</b>

As demonstrated above, the proposal includes 214 vehicle parking spaces on-site where 211 are required. In addition, the proposal includes 14 truck parking stalls to accommodate the proposed 14 dock doors. The proposed number of parking spaces meets the City's requirements as provided in Table 19.21.040A (Off Street Parking Requirements) of the Zoning Ordinance.

In addition to complying with the City's parking requirements, all projects must provide adequate area to allow for all truck and vehicle maneuvering to occur on-site. The architect for the project has provided the necessary information on their plans which show that enough space for trucks to safely access the site, access dock doors, and safely maneuver in and out of all parking spaces will be provided.

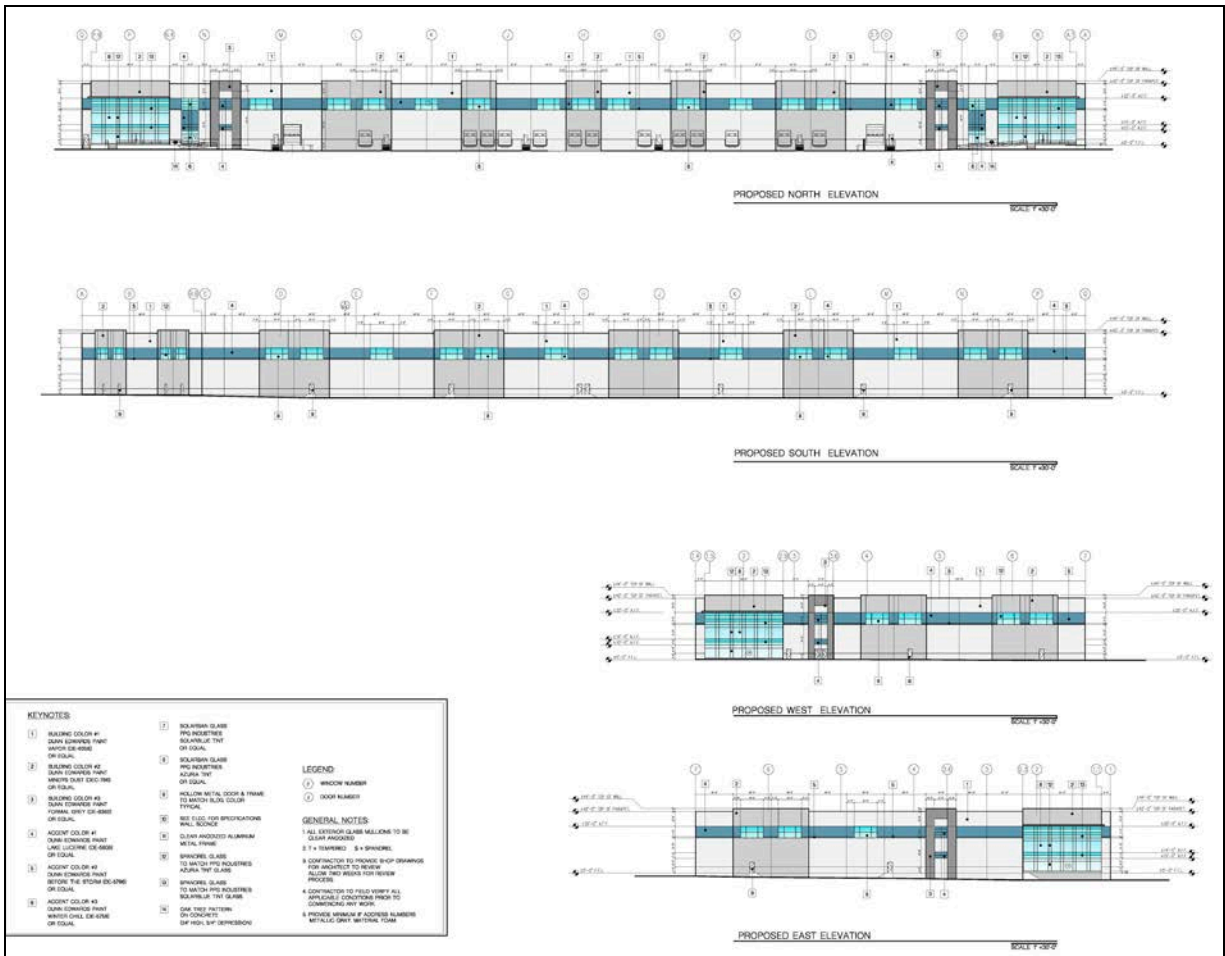
### Design and Compatibility

Chapter 19.19 of the CMC includes some general development standards and design guidelines. The purpose of these standards are to protect and improve the environment and the appearance of the community, and to deter blighting and

nuisance conditions. In particular, these guidelines address items such as, but not limited to, contextual design, landscaping, architectural treatments, and circulation.

The proposed concrete building is designed with ample fenestration which includes a well-articulated prominent entrance facing towards the ingress/egress driveway as seen from East Gage Avenue South. The elevations will include design elements such as reveals and scoring to add to the aesthetics of the building, while limiting the bulk and mass. As part of the design the applicant is proposing to use three prominent colors along the elevations. The color blue will be carefully incorporated into the design of the building in order to match the large windows at the primary entrance and that will give a blue hue when reflecting the sun.

As designed, the building will enhance the appearance of the area and will include a number of different measures to ensure compatibility. Additionally, the applicant will be required to propose landscaping throughout the site in an effort to help accentuate the building's architectural style. Below are the elevations proposed for this site:



After reviewing the plans, staff made a couple observations that merit further discussion. Specifically, the site has an opportunity to benefit from an enhanced landscape plan given the prominent presence of multiple green belts along the perimeter of the site. These green belts show little to no landscape enhancements. Staff recommends an expanded landscape plan be submitted which details the level of landscape treatment that will be undertaken as a result of this project. In addition, the proposed design features recommended for the building merit further discussion with the City's Economic Development Sub-committee. The purpose of their review is to ensure opportunity is given to comment on the design and layout of the building. Therefore, to ensure staff's recommendations are considered in the final design, staff is suggesting conditions be placed on this application requiring the applicant to work with staff on a design that is consistent with the City's general development standards and design guidelines as outlined in Section 19.19.220 of the CMC in order to achieve the goals and objectives of the City, while incorporating any comments or corrections from the City's Economic Development Sub-committee.

#### **CONCLUSION:**

Staff believes the necessary findings can be made to approve this Plot Plan to allow the construction of a manufacturing facility within the C/M-1 zoning district. As mentioned, the site is surrounded by a mixture of uses and the project will allow for the establishment of a modern building on a site that has sat vacant since 1991. Also, as demonstrated in the building analysis, the project will meet the minimum building requirements as set forth in the Zoning Ordinance. As analyzed, the proposal will not trigger any need for variances or will be inconsistent with the intent of the zoning code. As such, an Industrial Land Use in this area of the City is consistent with other permissible activities within the C/M-1 zone.

Therefore, staff recommends that the Planning Commission approve Plot Plan No. 989 with the Specific Findings in Attachment A, the Conditions of Approval in Attachment B.

Prepared by: Jose Jimenez  
City Planner

Reviewed by: Matt Marquez  
Deputy Director of Development Services

Reviewed by: Noel Tapia  
City Attorney

**ATTACHMENT A**  
**SPECIFIC FINDINGS FOR PLOT PLAN NO. 989**

The following finding can be made, regarding the mandatory findings of significance set forth in Section 15074 of the CEQA Guidelines, based on the results of the environmental assessment:

1. Prior to approving a project, the decision-making body of lead agency shall consider the proposed negative declaration or mitigated negative declaration together with any comments received during the public review process. The decision-making body shall adopt the proposed negative declaration or mitigated negative declaration only if it finds on the basis of the whole record before it (including the initial study and any comments received), that there is no substantial evidence that the project will have significant effect on the environment and that the negative declaration or mitigated negative declaration reflects the lead agency's independent judgement an analysis.

In addition to the above findings pursuant to Commerce Municipal Code Section 19.39.680, approval or disapproval of any Site Plan application shall be based upon the following factors and principles:

1. **Compliance with all applicable provisions of this Title 19.** *The newly proposed manufacturing facility will comply with all applicable requirements of the Commerce Municipal Code. The proposed use is one that is permitted within the C/M-1 (Commercial Manufacturing Industrial) Zone, the purpose of which is to provide land suitable for industrial uses. The requirements of the zone are intended to provide safeguards and to establish adequate buffer distances between uses that pose potentially adverse public health, safety, and welfare impacts and land uses in adjacent, more restrictive zone districts. As stated, the subject project will meet all applicable Code requirements and environmental analysis as determined by the analysis provided by ESA consulting in compliance with the California Environmental Quality Act.*
2. **Suitability of the site for the particular use or development intended.** *The site is located in the C/M-1 Zone, which allows for industrial type of uses in the City. The site was previously used as a landfill and then developed with a commercial building that occupied the property up until 1991. The intent of the industrial zone is to concentrate industrial activities in suitable areas in order to segregate these uses from sensitive residential uses; while at the same time ensuring the availability of needed public services. The proposed building does not violate any provisions of the Commerce Municipal Code, including lot coverage, floor area and setbacks requirements. The project site is large enough to accommodate all parking on site, as well as all*



*truck maneuvering. The site is therefore suitable for the proposed development.*

3. **Physical layout of the total development, including the application of prescribed development standards.** The project shall be so arranged to further the policies of the General Plan and zoning regulation including, but not limited to, avoiding traffic congestion, ensuring the protection of public health, safety, and general welfare, and preventing adverse effects on neighboring properties. *The proposed project will further the policies in the Commerce General Plan. The site has an "Industrial" land use designation, which is intended to support the uses such as that being proposed. Adequate safeguards will be provided to ensure the protection of the public health, safety, and welfare. The General Plan acknowledges that industry has been, and will continue to be, the preeminent land use in Commerce and will serve as a cornerstone in the City's continued vitality. The City continues to promote the maintenance and preservation of industrial activities and businesses that contribute to the City's economic and employment base, while also encouraging revitalization of the City's industrial districts to accommodate economic development and growth.*
  
4. **Consistency with all elements of the General plan.** *General Plans are required to not only be consistent with a City's zoning ordinance, but they must also be internally consistent. Therefore, individual elements must be consistent with one another. If a project is consistent with one element of a General Plan, it should therefore be consistent with the rest of the document. The subject project includes consistency with following policies in the Community Development Element of the General Plan:*
  - *Community Development Policy 1.1* - The City of Commerce will continue to promote land use compatibility.
  - *Community Development Policy 1.8.* - The City of Commerce, in conjunction with the South Coast Air Quality Management District, the Environmental Protection Agency, the Los Angeles County Fire Department, and other public agencies, will work to reduce potential hazards and health risks associated with the use, storage, or manufacture of hazardous materials.
  - *Community Development Policy 3.1.* - The City of Commerce will continue to promote the maintenance and preservation of industrial activities and business that contribute to the city's economic and employment base.
  - *Community Development Policy 6.3.* - The City of Commerce will require new commercial and industrial development to employ architectural and site design techniques that will promote quality and efficient development.

*The abovementioned policies, along with other policies and elements identified in the General Plan will help contribute to an orderly pattern of development in the City, while helping to contribute to the City's economic well-being.*

5. **Suitability and functional development design; however, such approval shall be interpreted to require a particular style or type of architecture.**  
*The project was designed to meet the City's development standards, including those related to floor area and lot coverage. The project was also evaluated to ensure it met the City's site planning criteria and design guidelines. A CEQA analysis of the project was undertaken by ESA consulting and it included a review of functionality measures of the proposal, including circulation and access. The project meets the intent and standards set forth in the Commerce Municipal Code and the CEQA analysis determined that the project will not have negative impacts on the environment; therefore the proposed building and use are suitable for the project site and its surroundings.*

**ATTACHMENT B**  
**CONDITIONS OF APPROVAL FOR PLOT PLAN NO. 989**

1. A Site Plan Review approval that is valid and in effect and granted pursuant to the provisions of Title 19 of the Commerce Municipal Code shall be valid only on the property for which it was granted and only for the improvements for which it is granted and further, shall continue to be valid upon change of ownership of the property or any lawfully existing building or structure on the property.
2. All conditions associated with the Remedial Action Plan for the site shall be in full effect and complied with prior to initiation of any construction activities associated with the project discussed herein.
3. A letter from the California Regional Water Quality Control Board affirming that all conditions of the Remedial Action Plan have been implemented shall be submitted to the Department prior to the issuance of a building permit.
4. All conditions shall be binding upon the applicants, their successors and assigns; shall run with the land; shall limit and control the issuance and validity of certificates of occupancy; and shall restrict and limit the construction, location, and use and maintenance of all land and structures within the development.
5. This permit and all rights hereunder shall terminate within twelve months of the effective date of the permit unless permits are issued or development commences or a written time extension is granted, based on a written request submitted prior to the expiration of the one-year period as provided in Section 19.39.720 of the Commerce Municipal Code.
6. The abandonment or non-use of this approval for a period of one year shall terminate the approval without further action of the Planning Commission or City Council, and any privileges granted thereunder shall become null and void.
7. In the event of transfer of ownership of the property involved in this application, the new owner shall be fully informed of the use and development of said property as set forth by this permit together with all conditions, which are a part thereof.
8. All parking areas shall be clearly identified. The surface parking area must be striped to clearly indicate the location and extent of vehicle parking, maneuvering areas, and drive aisles.

9. The applicant shall work with staff on the final design, layout and treatment of the proposed warehouse building, and landscape plan to insure compliance with all provisions of the Commerce Municipal Code. The final design of the structure shall be subject to the review and approval of the City's Economic Development Subcommittee and Director of Public Works and Development Services or her designee.
10. All loading and all vehicle maneuvering shall occur on-site.
11. During construction, all roadways shall be kept open to traffic.
12. Equipment used for construction activities shall be properly tuned to reduce exhaust emissions.
13. Construction activities shall be stopped during first and second stage smog alerts.
14. During construction, trucks and equipment that are not in use shall shut off their engines instead of idling.
15. Construction equipment shall be kept in proper tune and mufflers shall be used on all construction equipment to reduce equipment noise.
16. Roads adjacent to the project site shall be swept as needed to reduce fugitive dust from the proposed project site.
17. All grading operations will be suspended when wind speeds (as instantaneous gusts) exceed 35 miles per hour.
18. Construction activities shall be permitted between the hours of 7:00 a.m. to 10:00 p.m. Once operational, the proposed project must conform to the City's Noise Ordinance.
19. Storage of building materials related to construction activities shall be contained within the project site.
20. The project site shall be cleared of all debris prior to the issuance of a building department final inspection.
21. The property shall be developed and maintained in a neat, quiet, and orderly condition and operated in a manner so as not to be detrimental to adjacent properties and occupants.

22. Contractors and subcontractors engaged in the construction activities of the project shall obtain a business license and all required permits from the City of Commerce.
23. The contractor under the observation of a soil engineer shall conduct all clearing, site preparation, or earthwork performed on the project.
24. The soils engineer shall provide inspection for site clearing and grading in order to certify that the grading was done in accordance with approved plans and grading specifications.
25. Soils binders shall be utilized on construction sites for unpaved roads and/or parking areas.
26. The project will be required to comply with all programs adopted by the City for the reduction of solid waste.
27. Where feasible, the applicant shall use recycled materials during construction and recycle construction waste. A report shall be provided to the City of Commerce.
28. Ultra-low flow water fixtures must be installed to reduce the volume of sewage to the system.
29. The project applicant shall install energy-efficient electrical appliances and equipment in accordance with the State of California's Energy Efficiency Standards (Title 24).
30. Prior to the issuance of any occupancy permits, three (3) sets of landscaping and irrigation plans shall be prepared by a landscape architect and submitted to the City for review and approval. All designated landscaping areas shall be fully planted prior to the issuance of building permit final inspection and maintained at all times.
31. Site development shall conform to the site plan reviewed by the Planning Commission when approval of the subject project was granted.
32. Violation of any of the conditions of this approval shall be cause for revocation and termination of all rights thereunder.
33. The Public Works and Development Services Director or her designee shall have the authority to initiate proceedings to suspend or revoke a Site Plan Review approval pursuant to provisions set forth in Sections 19.39.240 through 19.39.250, inclusive, of the Commerce Municipal Code, Chapter 19.39.



34. The applicant and the contractors involved in demolition and/or construction activities must comply with all pertinent South Coast Air Quality Management District (SCAQMD) regulations and requirements governing Particulate Matter (PM10) generation (Rule 401, 403, etc.). PM10 pollution consists of very small liquid and solid particles floating in the air. These particles are less than 10 microns in diameter – about 1/7<sup>th</sup> the thickness of the human – and are known as PM10.
35. The project shall comply with the Section 19.19.220 of the CMC (General Development Standards and Design Guidelines) as well as all other applicable sections of the CMC.
36. The applicant and future tenants will be required to obtain all pertinent operating permits from the SCAQMD for any equipment requiring such permits.
37. The proposed project shall conform to Fire, Building, and Public Works Code requirements. Notwithstanding this review, all required permits from the County Department of Building and Safety must be secured.
38. The Applicant or General Contractor shall keep the construction area sufficiently damped to control dust caused by construction and hauling, and at all times provide reasonable control of dust caused by wind.
39. All materials transported off-site shall either be sufficiently watered or securely covered to prevent excessive amounts of dust and spillage.
40. The Applicant shall ensure that the contractors adhere to all pertinent SCAQMD protocols regarding grading, site preparation, and construction activities.
41. The Applicant shall ensure that the grading and building contractors must adhere to all pertinent provisions of Rule 403 pertaining to the generation of fugitive dust during grading and/or the use of equipment on unpaved surfaces. The contractors will be responsible for being familiar with, and implementing any pertinent best available control measures.
42. During construction, disposal of refuse and other materials should occur in a specified and controlled temporary area on-site physically separated from potential storm water runoff, with ultimate disposal in accordance with local, State and Federal requirements.
43. Sediment from areas disturbed by construction shall be retained on-site using structural controls to the maximum extent practicable.

44. The project shall comply with the City's Low Impact Development Standards and Green Street Policy.
45. All required permits by all permitting agencies shall be obtained for operation of said use and any construction associated with the subject request.
46. Violation of any of the conditions of the approval shall be cause for revocation and termination of all rights thereunder.
47. The Director of Public Works and Development Services or her designee is authorized to make minor modifications to the approved preliminary plans or any of the conditions if such modifications shall achieve substantially the same results as would strict compliance with said plans and conditions.
48. The applicant shall work with the City on the signalization of Telegraph Road & I-5 Northbound Off-Ramp (Intersection #4) as identified by the Traffic study. Specifically, the applicant shall participate in an areawide Traffic Impact Fee or a Traffic Signal Reimbursement Program in order to finance the new traffic signal improvement. This could be determined by requiring the Project to pay an approved traffic impact fee to be spent on the needed traffic signal or the Project could implement the signal and be reimbursed by other new developments in the area that would benefit from the signal.
49. The Applicant shall sign, notarize, and return to the Public Works and Development Services Department an affidavit accepting all Conditions of Approval within 15 days from the date of the approval, unless appealed. The Applicant acknowledges and understands that all conditions set forth in this Resolution are conditions precedent to the grant of approval and failure to comply with any condition contained herein shall render this Condition Use Permit non-binding as against the City and shall confer Applicant no legal rights under the law.
50. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers, and employees from any claim, action, or proceeding brought against the city, its elected and appointed officials, agents, officers, or employees arising out of, or which are related to the applicant's project or application (collectively referred to as "proceedings"). The indemnification shall include, but not be limited to, damages, fees and/or costs, liabilities, and expenses incurred or awarded in connection with the proceedings whether incurred by the applicant, the city and/or the parties initiating or bringing such proceedings. This indemnity provision shall include the applicant's obligation to indemnify the city for all the city's costs, fees, and damages that the city incurs in enforcing the indemnification provisions set forth herein. The city shall have the right to choose its own legal counsel to represent the city's interest in the proceedings.

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<b>DEPARTMENT OF PUBLIC WORKS CONDITIONS:</b>
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**GENERAL FEES REQUIREMENTS**

51. Prior to issuance of grading, building or other permits as appropriate, the applicant shall pay all necessary and nominal fees to the City.
52. Sewer fee will be required in addition to the fees paid to the Sanitation Districts of Los Angeles County, and shall be paid prior to building permit issuance.
53. Separate public encroachment permit and fee payment are required for all work in the public rights-of-way in the city.

**PUBLIC WORKS REQUIREMENTS**

54. The owner/developer shall be required to design and construct off-site improvements to the satisfaction and approval of the Public Works & Development Services Department.
55. Street, drainage improvements and traffic control plans shall be prepared by a registered civil engineer and shall be submitted to the Public Works & Development Services Department.
56. All work shall be done in accordance with Standard Plans for Public Works Construction (SPPWC) or as directed by the Public Works Engineer and/or the Public Works Inspector.

**The following are required for the off-site improvements:**

57. All necessary permits, including encroachment permits, building permits, utility connection permits, etc., shall be first secured through the City of Commerce, County of Los Angeles, and any other responsible or underlying agency, before any work can commence.
58. Existing driveway, including curb & gutter, at the entry of the property at 7316 Gage Avenue shall be reconstructed per SPPWC standards. Pedestrian access shall be provided. Concrete material and placement will adhere to A.P.W.A. Standard Specifications.
59. Entire length of the street from Gage Avenue to the end of the cul-de-sac shall be reconstructed, including curb & gutter, per SPPWC and A.P.W.A. Standard Specifications.

60. Traffic control devices and markings, such as street markings, STOP signs, regulatory and warning signs, from Gage Avenue to the cul-de-sac, shall be installed per traffic engineering plan approved by the City and signed by a California registered Civil or Traffic Engineer.
61. Traffic engineering improvements at the intersection of Slauson Ave. and Telegraph Rd. shall be implemented per City-approved traffic engineering plan (Gibson Transportation Consulting, Inc.). Coordination with the City is required before starting the implementation.
62. Existing deteriorating gate and guardrail on the side of the entry at the cul-de-sac shall be removed. Any replacement structure must first be approved by the City.
63. Actual locations of the right-of-way and property lines shall be determined by a licensed California land surveyor or pre-1982 registered Civil Engineer, in conjunction with Union Pacific Railroad, and nearby property owners. No encroachment of any built facility, including fences and walls, is allowed.
64. Complete landscaping plans within the public right-of-way shall be developed and approved by the City of Commerce.
65. Street lights, power poles, transformers, vaults, meters, etc. shall be installed in coordination with Southern California Edison (SCE) and placed within the City's right-of-way. Electrical wiring shall be installed underground.
66. Communication lines, equipment, vaults, boxes, etc. shall be installed in coordination with AT&T, Verizon, Spectrum, Time-Warner, etc. and placed within the City's right-of-way. Communication lines shall be installed underground.
67. Sub-structures, such as sewer lines and storm drain lines (including catch basins) shall be coordinated and installed by the Los Angeles County Department of Public Works. Sewer lines and storm drain lines shall be installed within the City's right-of-way.
68. Any existing utility structure or facility near the entry of the subject property shall be relocated per the agency in charge of that utility structure or facility and approved by the City.
69. Coordination required with California Water Company (CalWater) for the installation of proposed water services, water meters, valves, backflow preventers, and any fire hydrants. All water-related structures, with the exception of backflow preventers, shall be installed within the public right-of-

way. The backflow preventers shall be installed within private property. Approval from the Los Angeles County Fire Department required.

70. Drainage within the subject property shall be collected and required to comply with the National Pollutant Discharge Elimination System (NPDES) prior to discharge. If a storm drain system or a detention basin is required (depending on its location), additional conditions may apply.
71. Conditions and requirements set forth in the approved Remedial Action Plan (RAP) shall be adhered to and followed. Contractor / developer is required to secure all necessary approvals and inspections.
72. The site grading of the facility, and the hauling and backfilling of soil, dirt, or earth, is subject to the requirements set forth in the RAP and also per City requirements. Coordination with both the City of Commerce and the California Department of Transportation (Caltrans) is required so as to assure that site grading activities does not impact nearby properties, such as the Caltrans right-of-way and Veterans Memorial Park. Site grading shall not compromise the general stability (including slope stability) of the nearby properties for any reason.
73. All activities within the property, which includes but are not limited to, utility installation, site grading, dirt hauling, building construction, environmental remediation, air quality control, setback requirements, fire and code safety, etc., shall adhere to the conditions and requirements set forth by the Development Services Division (Building & Safety, Planning, Permitting, etc.) of the City of Commerce.

The following are general requirements for off-site improvements:

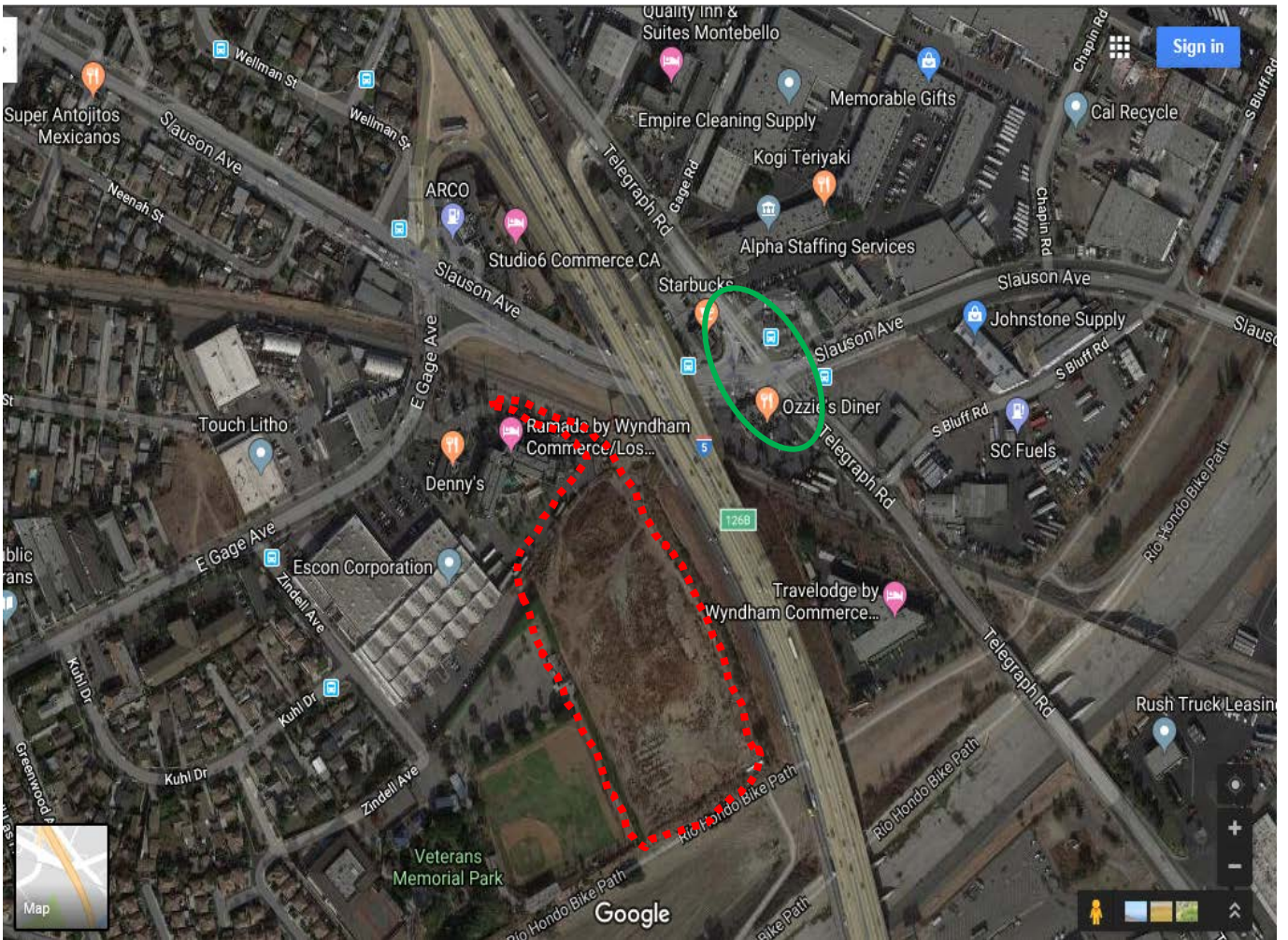
74. Any existing improvements in the public right of way that is damaged, made off-grade during construction, including but not limited to the following: traffic signals, light standards, aprons, sidewalk, curb ramps, curb, and/or gutter, shall be removed and replaced with the appropriated SPPWC Standard or as directed by the Public Works & Development Services Department.
75. All site drainage shall be collected and deposited in the adjacent gutter, alley, storm drain or similar structure or device, and if necessary, filtered per NPDES regulations. Site storm and/or nuisance water shall not flow across the city sidewalk.
76. All new and existing, non-complying driveway aprons shall be constructed in accordance with SPPWC standards and shall provide a minimum 4 feet wide path of travel at no more than 2% cross-slope at the top of apron. Where limited parkway width occurs, the sidewalk shall be depressed at the back of apron to provide a disable access complying path of travel across the



driveway apron. Top of driveway apron X shall be 5 feet minimum from any trees, power poles, traffic signal controllers, electric services or similar improvements in the public right-of-way.


- 77. All existing driveways aprons to be closed shall be removed and replaced with new curb, gutter, and sidewalk constructed in accordance with SPPWC standards.
- 78. All damaged or off-grade curb, gutter, and sidewalk shall be removed and replaced in accordance with SPPWC standards.

### 7316 Gage Avenue, COMMERCE



**NOT TO SCALE**

**LEGEND:**

-  Development Site (Outline)
-  Intersection of Slauson Ave. & Telegraph Rd. for Traffic Engineering Implementation

**ATTACHMENT D  
 MITIGATION MONITORING AND REPORTING PROGRAM FOR  
 PLOT PLAN NO. 989**

The Mitigation Monitoring and Reporting Program (MMRP) for the subject project has been prepared pursuant to the requirements of Public Resources Code §21081.6 which, among other things, states that when a governmental agency adopts or certifies a CEQA document that contains the environmental review of a proposed project, “The public agency shall adopt a reporting or monitoring program for the changes made to the project or conditions of project approval, adopted in order to mitigate or avoid significant effects on the environment. The reporting or monitoring program shall be designed to ensure compliance during project implementation.”

The City of Commerce is the lead agency for the project, and is therefore, responsible for administering and implementing of the MMRP. The decision-makers must define specific reporting and/or monitoring requirements to be enforced during project implementation prior to final approval of the proposed project.

The MMRP includes the following: (1) mitigation measures that will either eliminate or lessen the potential impact of the project; (2) the monitoring milestone or phase during which the measure shall be complied with or carried out; and (3) the enforcement agency responsible to monitor mitigation measure compliance.

The MMRP will be in place through all phases of a project including project design (preconstruction), project approval, project construction, and operation (both prior to and post-occupancy). The City will ensure that monitoring is documented through periodic reports and that deficiencies are promptly corrected. Below is a table showing the proposed mitigation measures and the entire MMRP is attached to this report.

<b>Mitigation Measure Number</b>	<b>Mitigation Measure</b>	<b>Monitoring Milestone</b>	<b>Enforcement Agency</b>
<b>Transportation and Traffic</b>			
<b>MM-TRAF-1</b>	At the intersection of I-5 SB Ramps/Slauson Avenue (Intersection #3), modify the existing traffic signal phasing to a split east/west traffic signal phase and restriping the intersection to provide a left-through lane in addition to the existing left-turn lane. The resulting westbound	Prior to Certificate of Occupancy	City of Commerce Building & Safety

	approach would consist of a left-turn lane, a shared left-through lane, a through lane, and a shared through-right lane.		
<b>MM-TRAF-2</b>	Install a traffic signal at the intersection of Telegraph Road/I-5 NB Off-Ramp (Intersection #4), consistent with the traffic study.	Prior to Certificate of Occupancy	City of Commerce Building & Safety





CITY OF COMMERCE  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION

**PLOT PLAN/ SITE PLAN REVIEW**

PROJECT NO. PP989

APPLICATION FEE \$750.00

**APPLICATION COMPLETENESS:** Only applications that include all of the required application requirements will be deemed "complete." Please be advised that additional information may be required to complete your application.

The Department of Community Development retains the right to review documents and determine that they are adequate in their ability to convey the applicant's request to the decision making body. Applicants will be notified, within 30 days of filing the application and paying all required fees, whether or not their application is complete. Only projects with complete applications will be reviewed by the decision making body.

**NOTE:** The Plot Plan/Site Plan Review application is also available at the following website address: <http://www.ci.commerce.ca.us/newpages/planningformsapplications.asp>

**INSTRUCTIONS TO APPLICANT:**

- A. Complete all the items listed below. Please print legibly.
- B. Submit the following (*See also, "required plans for filing"*)
  - 1 completed application
  - 10 copies of Site/Plot Plan on 24"x 36" sheets
  - 1 copy of Floor Plan on a 24"x 36" sheet
  - 1 copy of Elevations on a 24"x 36" sheet
  - 1 reduced copy of Site Plan, Floor Plan, and Elevations on a 8 1/2" x 11" sheet
  - 500 ft Radius Map
  - Property Owners Mailing List
- C. Business/Organization Operations Plan Letter (*sample included*)
- D. Occupant's Permission to Enter and Investigate Site
- E. Environmental Data Form
- F. Affidavit
- G. Application Fee (*See "Fee Schedule" for application fee*)

APPLICANT: Comstock Gage, LLC

SITE ADDRESS: 7316 East Gage Avenue, Commerce, CA 90040

MAILING ADDRESS: 1801 Century Park East, Suite 1095, Los Angeles, CA 90067

TELEPHONE NO.: 310-729-2929 OTHER NO.: 310-444-5550

APPLICANT'S REPRESENTATIVE: Adrian Comstock

REPRESENTATIVE'S ADDRESS: 1801 Century Park East, Suite 1095, Los Angeles, CA 90067

REPRESENTATIVE'S TELEPHONE NO. 310-729-2929

**GENERAL LOCATION:**

*Subject property is generally located:*

The Property is located immediately adjacent to the Santa Ana Freeway on the east, the Rio Hondo Channel on the south, Veterans Memorial Park on the west, and commercial and manufacturing uses, including a Ramada Inn and Denny's restaurant, to the north and northwest.

**APPLICANT'S REQUEST:**

*It is hereby requested that the Commerce Planning Commission grant approval for the development or use on this property as stated in the application. (Please describe the proposed development or use in full detail.)*

See Attachment A

**LEGAL DESCRIPTION OF PROPERTY:**

*Legal description: (Continue on separate page, if necessary.)*

See attached Legal Description.



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**CURRENT ZONING AND LAND USE:**

Subject property is currently zoned: C/M-1, Commercial-Manufacturing

Current land use: Vacant/former landfill, then manufacturing plant

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**SUBMITTAL REQUIREMENTS:**

1. All plot plans should include the following:
  - Zoning and setbacks
  - North point and scale (1" = 20' minimum)
  - All adjacent streets and alleys
  - Sidewalks, curbs, gutters, street trees and power poles
  - Entire ownership of lot or parcel being developed
  - Use and construction date of all existing and proposed structures
  - Height of building and number of floors and the total floor area
  - Complete dimensioned parking layout
  - Owner's name and address
  - The type and thickness of paving
  
2. Industrial plot plans should also include the following information:
  - Maximum number of employees on largest shift
  - Number and type of company vehicles
  - Types and sizes of trucks to be used on site
  - Existing and proposed new Loading docks and doors on buildings
  
3. Multiple residential plot plans are to indicate the number of rooms in each unit as well as the total number of units.
  
4. Ten (10) copies of detailed development plans drawn to scale (example: Plot/Site Plan, Floor Plan, Elevations, and Landscape Plans) showing all existing and proposed improvements on the property.
  
5. One complete reduced set of all required development plans on 8 1/2" x 11"
  
6. Filing Fee:
  - Non-residential     \$750.00
  - Residential         \$250.00

**FOR OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE**

Date Submitted: \_\_\_\_\_ Received by: \_\_\_\_\_



**CITY OF COMMERCE**  
**DEPARTMENT OF PUBLIC WORKS & DEVELOPMENT SERVICES**

<http://www.ci.commerce.ca.us/index.aspx?nid=328>

**APPEAL APPLICATION**

**APPLICATION INFORMATION**

Project Address: 7316 East Gage Avenue, Commerce, CA  
 Case Type (CUP, VARIANCE, ETC.) and Number: Plot Plan / Site Plan Review No. 989  
 Hearing Date: August 22, 2018 Appeal Deadline: September 5, 2018

**APPELLANT INFORMATION**

APPELLANT: Comstock Gage, LLC Telephone: (310) 729-2929  
 Address: 1801 Century Park East, Suite 1095 Fax: [ ] \_\_\_\_\_  
 City: Los Angeles State: CA Zip: 90067 Email: \_\_\_\_\_

APPLICANT (IF DIFFERENT): \_\_\_\_\_

I hereby appeal the decision of the:

- Planning Commission
- Deputy Director of Development Services
- Planning Staff
- Director of Public Works and Development Services
- Other: \_\_\_\_\_

**REASON FOR APPEAL**

The decision maker failed to comply with the provisions of the Zoning Code, General Plan or other applicable plans in the following manner (use additional sheets if necessary):

SEE ATTACHMENT A

Adrian Comstock  
 Signature of Appellant ADRIAN COMSTOCK for ComstockGageLLC

8/22/2018  
 Date

* OFFICE USE ONLY			
RC #	<u>219096</u>	CASE #	_____
DESCRIPTION	<u>Appeal of Planning Commission decision on Plot Plan 989</u>		
DATE APPEAL RECEIVED:	<u>8/30/18</u>	APPEAL FEES: \$	<u>1,000</u>
		RECEIVED BY:	<u>JDJ</u>

## ATTACHMENT A

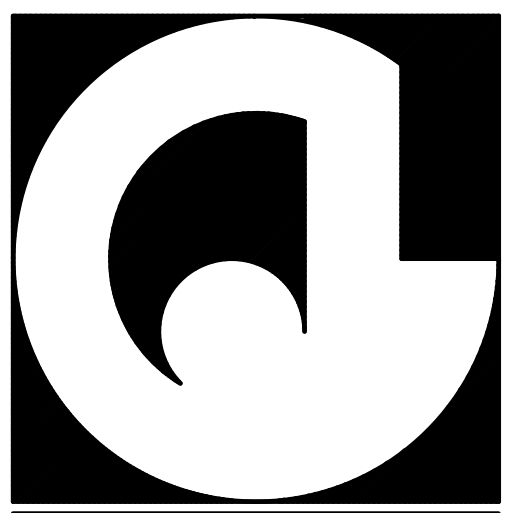
On August 22, 2018, the City of Commerce Planning Commission denied the Plot Plan/Site Plan Review application submitted by Comstock Gage, LLC (the "Developer") for the development of a 172,780 square-foot light industrial building (the "Project") on the property located at 7316 East Gage Avenue (the "Property"). The Property is zoned C/M-1, Commercial Manufacturing. Light industrial uses such as the Project are permitted in the C/M-1 zone subject to approval of Plot Plan/Site Plan review for any building containing 25,000 square feet or more of floor area. The Property is a former landfill that has historically been used for industrial purposes.

In addition to being a permitted use in the C/M-1 zone, the Project is fully consistent with all elements of the City's General Plan and fully complies with all applicable development standards, including height, floor area, setbacks, lot coverage, number of parking spaces, etc. The City prepared a Mitigated Negative Declaration for the Project pursuant to the requirements of the California Environmental Quality Act, which concluded that the construction and operation of the Project would not result in any potentially significant impacts on the environment that could not be mitigated to a less than significant level. In order to develop the Project, the Developer has been required by the Los Angeles Regional Water Quality Control Board ("LARWQCB") to implement a Remedial Action Plan ("RAP") to remediate the Property by removing all landfill material and replacing it with clean, compacted soil. The LARWQCB adopted a Mitigated Negative Declaration in connection with its approval of the RAP, which concluded that the RAP would not result in any potentially significant impacts on the environment that could not be mitigated to a less than significant level.

The City's Department of Public Works and Development Services reviewed the Project and prepared findings on the basis of substantial evidence that (1) the Project complies with all applicable provisions of Title 19 of the Commerce Municipal Code, (2) the Property is suitable for the particular use or development intended, (3) the Project is arranged to further the policies of the General Plan and zoning regulation including, but not limited to, avoiding traffic congestion, ensuring the protection of public health, safety, and general welfare, and preventing adverse effects on neighboring properties, (4) the Project is consistent with all elements of the General Plan, and (5) the Project is suitable for the Property and its surroundings.

The Planning Commission nevertheless ignored the proposed findings and denied the Plot Plan/Site Plan Review application without relying on any evidence, conducting any substantive discussion, or making any findings for denial. The Planning Commission's decision was accordingly arbitrary and capricious and not supported by substantial evidence. The City Council should therefore reverse the decision of the Planning Commission and grant the appeal.





ARCHITECTURE . ENGINEERING

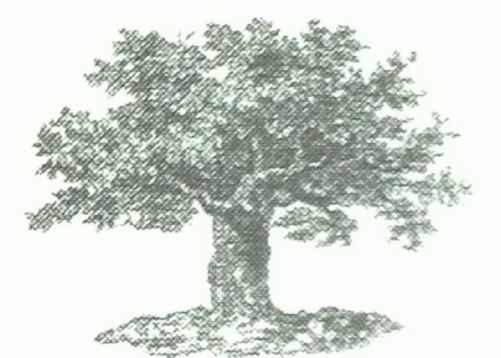
835 MISSION STREET, SOUTH PASADENA, CA 91030  
OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

7316 GAGE AVENUE  
COMMERCE, CA 90040

DEVELOPER :

JOHN G. CATALDO  
A.I.A. C.S.I.



COMSTOCK REALTY  
PARTNERS

1801 CENTURY PARK EAST, SUITE 100  
LOS ANGELES, CA 90067  
(310) 445-5550  
www.comstockrealtypartners.com

Drawing Content :

VICINITY MAP  
AERIAL VIEW  
PROJ. SUMMARY

Revisions : Date :


Designer : J.C.  
Manager : E.O.C./Y.B.  
Date : 4/19/2018  
Job No : 2013-044  
Scale : AS NOTED

Drawing No :

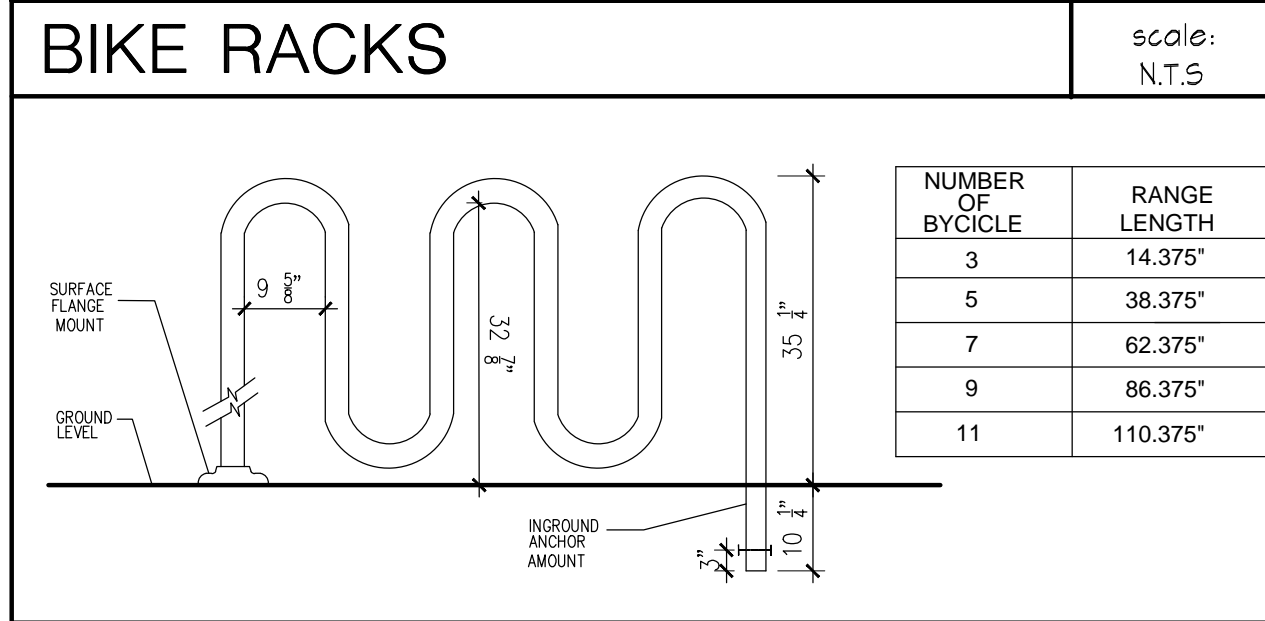
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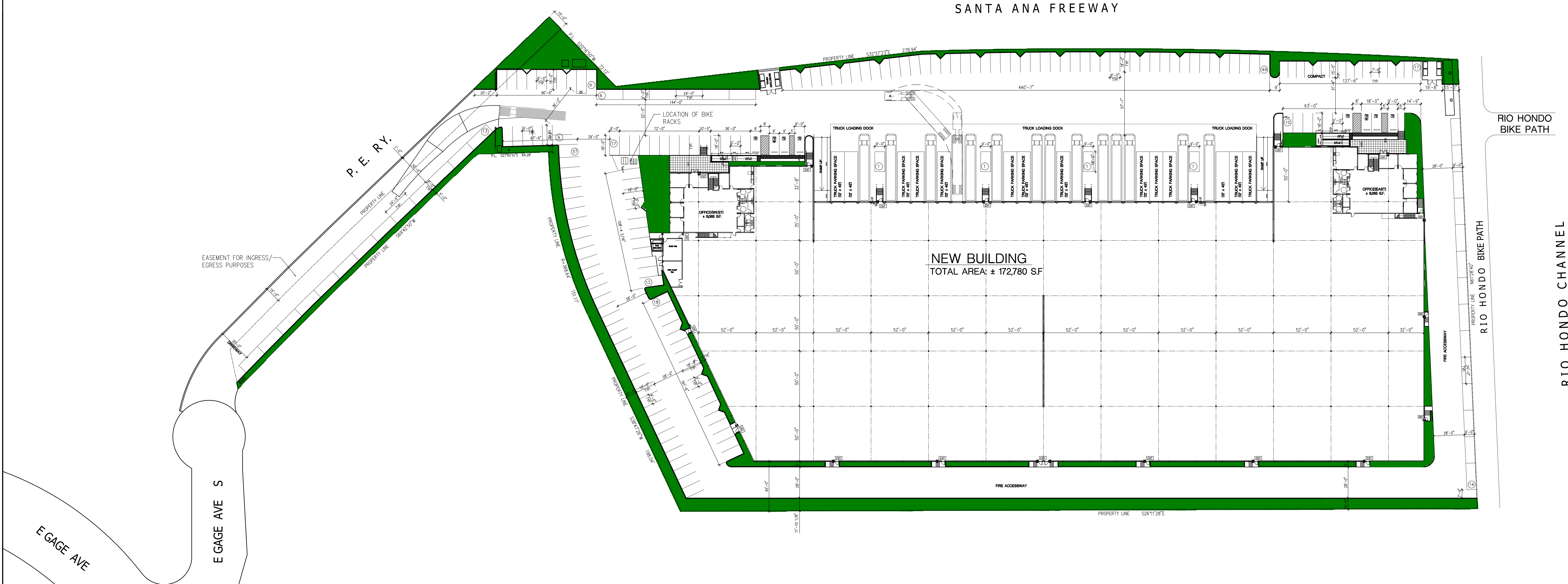
# 7316 Gage Ave, Commerce, CA 90040

<b>PROJECT INFO. / DIRECTORY</b>  PROJECT OWNER : COMSTOCK 1801 CENTURY PARK EAST, SUITE 1095 LOS ANGELES, CA 90067 (310) 445-5550 www.comstockrealtypartners.com  PROJECT ADDRESS : 7316 Gage Ave Commerce, CA 90040  PROJECT ARCHITECT : JOHN G. CATALDO 835 MISSION STREET SOUTH PASADENA, CA TEL: 626-799-4400  SCOPE OF WORK: NEW INDUSTRIAL BUILDING		<b>PROJECT SUMMARY</b>  PROJECT ADDRESS: 7316 GAGE AVENUE COMMERCE, 90040  ZONING: C/M1-COMMERCIAL-MANUFACTURING  ASSESSOR'S PARCEL NO.: 6357-018-005  LOT AREA: 339,000± SQ. FT.  PROPOSED BUILDINGS: OFFICE AREA 1 4,209 SQ. FT. OFFICE (1ST FLOOR) 3,856 SQ. FT. OFFICE (MEZZANINE) TOTAL OFFICE AREA 1 8,065 SQ. FT.  OFFICE AREA 2 4,209 SQ. FT. OFFICE (1ST FLOOR) 3,856 SQ. FT. OFFICE (MEZZANINE) TOTAL OFFICE AREA 2 8,065 SQ. FT.  TOTAL OFFICE AREA 8,065 +8,065 = 16,130 FT. MANUFACTURING AREA 156,650 SQ. FT. TOTAL BUILDING AREA 172,780 SQ. FT. TOTAL BUILDING AREA FOOTPRINT 165,068 SQ. FT.		<b>AERIAL PHOTO</b>  PARKING REQUIREMENTS: PER CITY OF COMMERCE ZONING CODE OFFICE: 1 SPACE PER 300 SQ. FT. MANUFACTURING: 1 SPACE PER 1000 SQ. FT.  PARKING REQUIRED: MANUFACTURING/OFFICE: OFFICE (16,130/300) 54 SPACES MANUFACTURING (156,650/1000) 157 SPACES TOTAL PARKING REQUIRED 211 SPACES  PARKING PROVIDED: STANDARD PARKING 189 SPACES COMPACT SPACES 17 SPACES ACCESSIBLE PARKING 8 SPACES TOTAL PARKING PROVIDED 214 SPACES  DOCK DOOR SUMMARY : 14 DOCK DOOR PROVIDED 14 TRAILER PARKING SPACES PROVIDED 2 14' DOUBLE WIDE RAMPS		<b>VICINITY MAP</b>  <p>7316 GAGE AVENUE COMMERCE, CA 90040</p>	
<b>INDEX SHEET</b> A-1 TITLE SHEET, PROJ. SUMMARY A-2 PROPOSED SITE PLAN A-3 PROPOSED BUILDING PLAN A-4 PROPOSED OFFICE FLOOR PLANS A-5 PROPOSED ELEVATIONS A-5.1 PROPOSED ENLARGED ELEVATIONS		<b>LANDSCAPING</b>  SITE AREA : 339,000 SQ.FT. LANDSCAPE REQUIRED: 339,000 SQ.FT. x 5% = 16,950 SQ.FT. LANDSCAPE PROVIDED: 26,922 SQ.FT. (1.6%)					



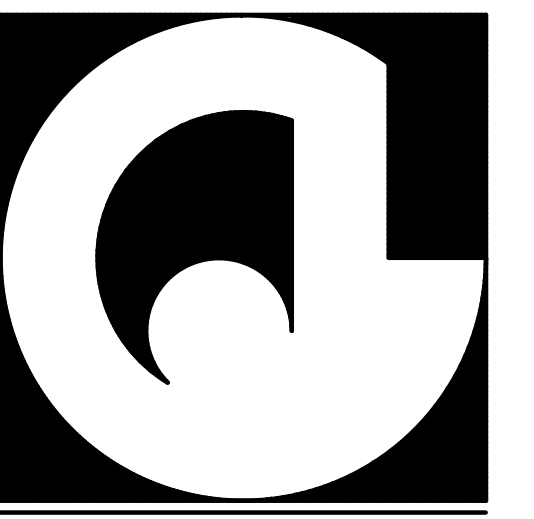
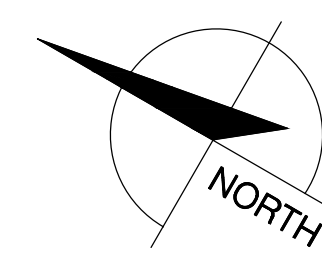


Scale: N.T.S.



**PROPOSED SITE PLAN**

SCALE: 1" = 30'-0"



ARCHITECTURE . ENGINEERING

835 MISSION STREET, SOUTH PASADENA, CA 91030  
OFFICE : 626-799-4400 FAX : 626-799-7010

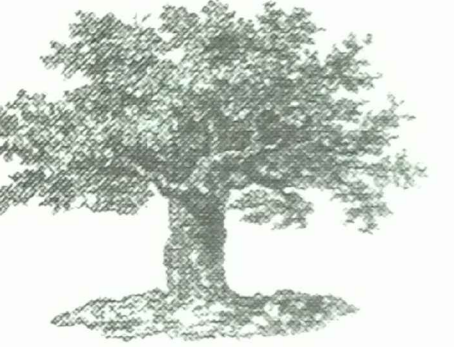
PROJECT NAME & SITE ADDRESS:

7316 GAGE AVENUE  
COMMERCE, CA 90040

DEVELOPER :

JOHN G. CATALDO A.I.A. C.S.

RIO HONDO CHANNEL



**COMSTOCK REALTY PARTNERS**

1801 CENTURY PARK EAST, SUITE 10  
LOS ANGELES, CA 90067  
(310) 445-5550  
www.comstockrealtypartners.com

Drawing Content :

PROPOSED SITE PLAN

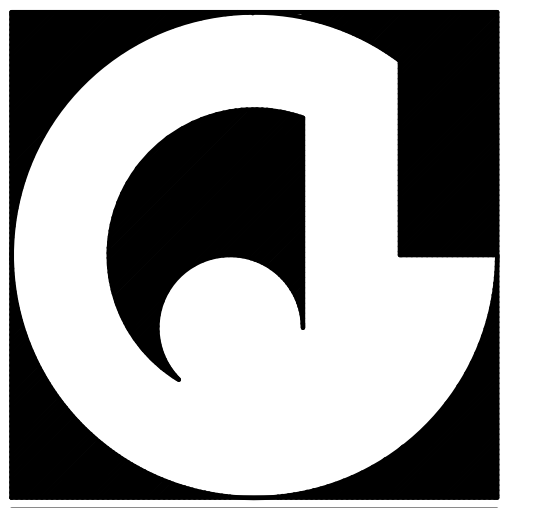
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Designer : J.C.  
Manager : E.O.C./V.B.  
Date : 4/19/2018  
Job No : 2013-044  
Scale : AS NOTED

Drawing No :

**A-2**

SHEET : OF :



ARCHITECTURE . ENGINEERING

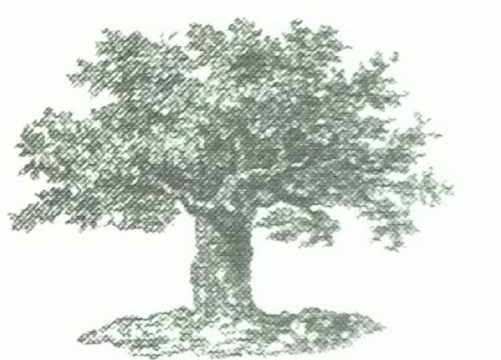
855 MISSION STREET, SOUTH PASADENA, CA 91030  
OFFICE : 628-799-4400 FAX : 628-799-7010

PROJECT NAME & SITE ADDRESS:

7316 GAGE AVENUE  
COMMERCE, CA 90040

DEVELOPER :

JOHN G. CATALDO  
A.I.A. C.S.I.



COMSTOCK REALTY  
PARTNERS

1801 CENTURY PARK EAST, SUITE 10  
LOS ANGELES, CA 90067  
(310) 445-5550  
www.comstockrealtypartners.com

Drawing Content :

PROPOSED BUILDING  
FLOOR PLAN

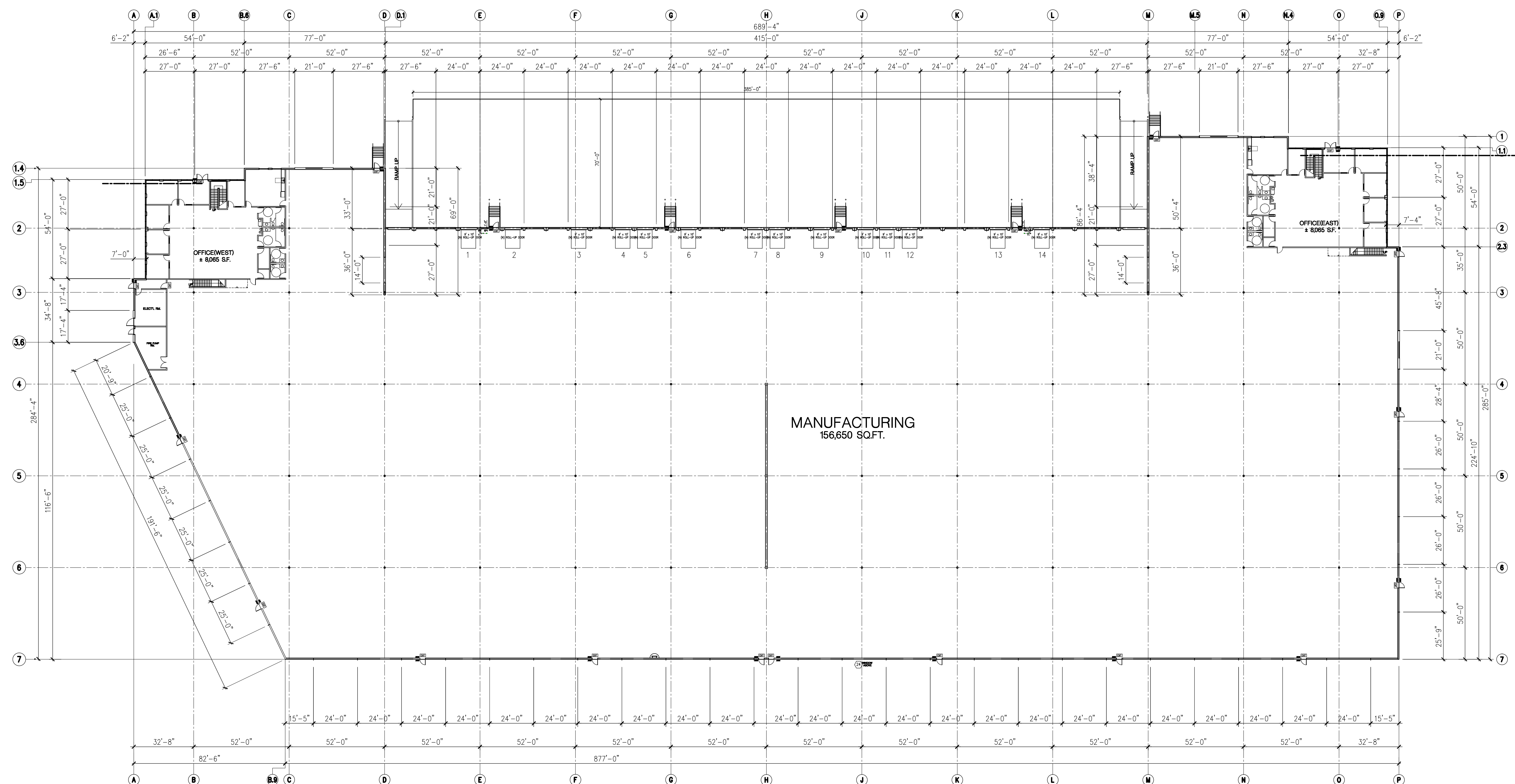
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Manager : E.O.C./V.B.  
Date : 4/19/2018  
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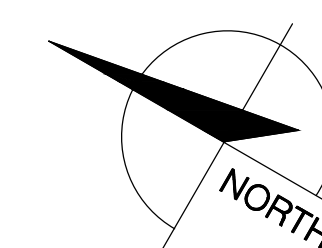
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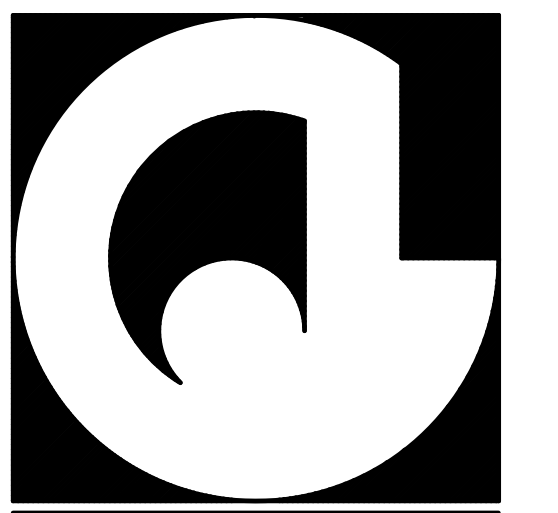


# PROPOSED BUILDING FLOOR PLAN

SCALE: 1" = 30'-0"







ARCHITECTURE . ENGINEERING

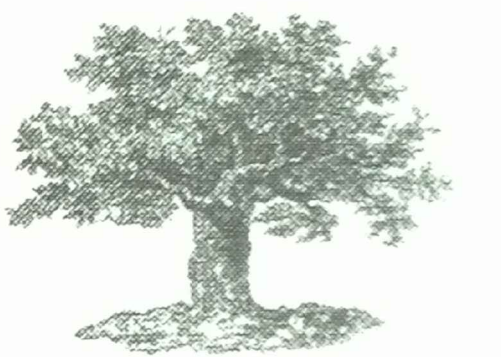
830 MISSION STREET, SOUTH PASADENA, CA 91030  
OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

7316 GAGE AVENUE  
COMMERCE, CA 90040

DEVELOPER :

JOHN G. CATALDO  
A.I.A. C.S.I.

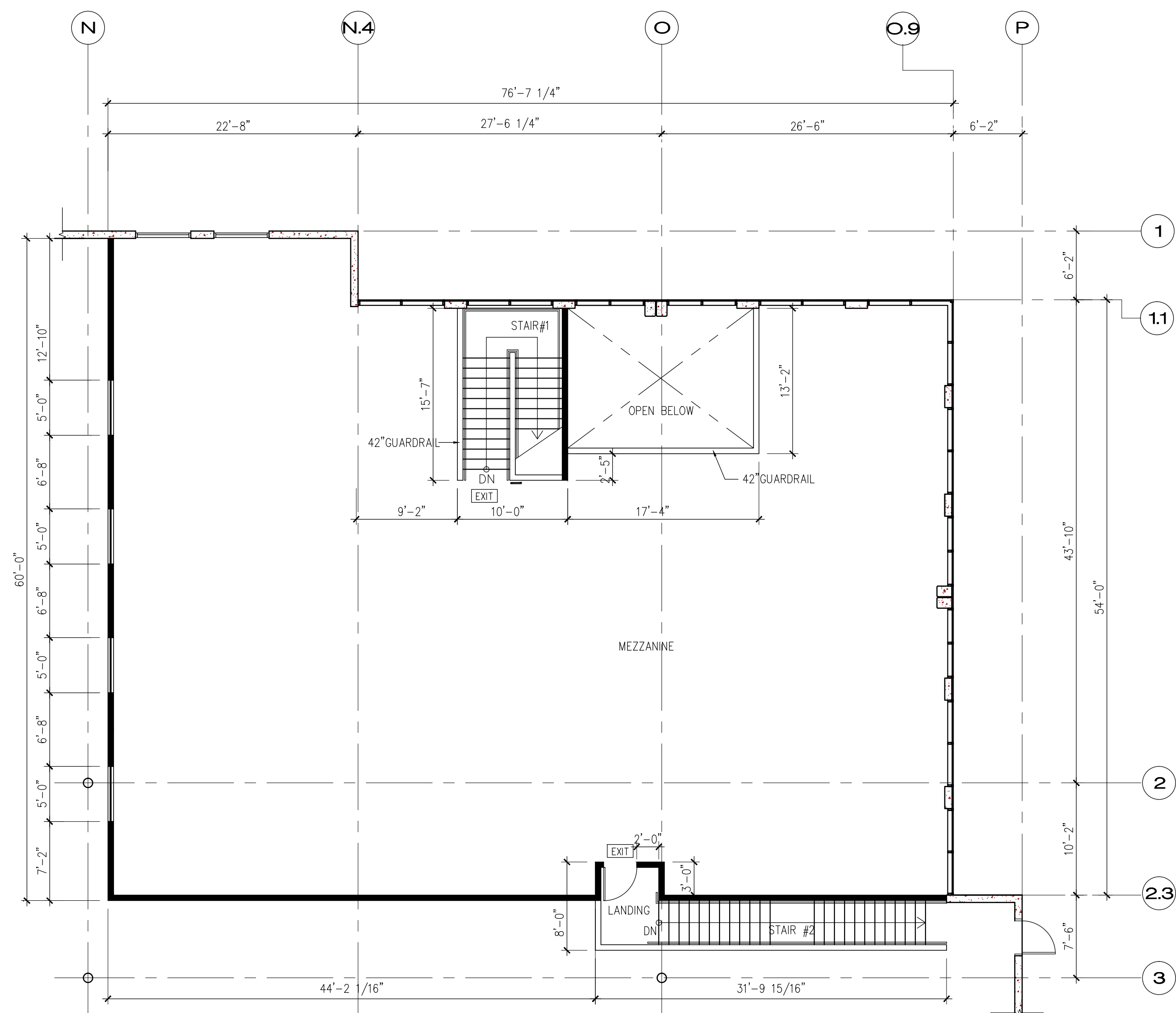


COMSTOCK REALTY  
PARTNERS

1801 CENTURY PARK EAST, SUITE 10  
LOS ANGELES, CA 90067  
(310) 445-5550  
www.comstockrealtypartners.com

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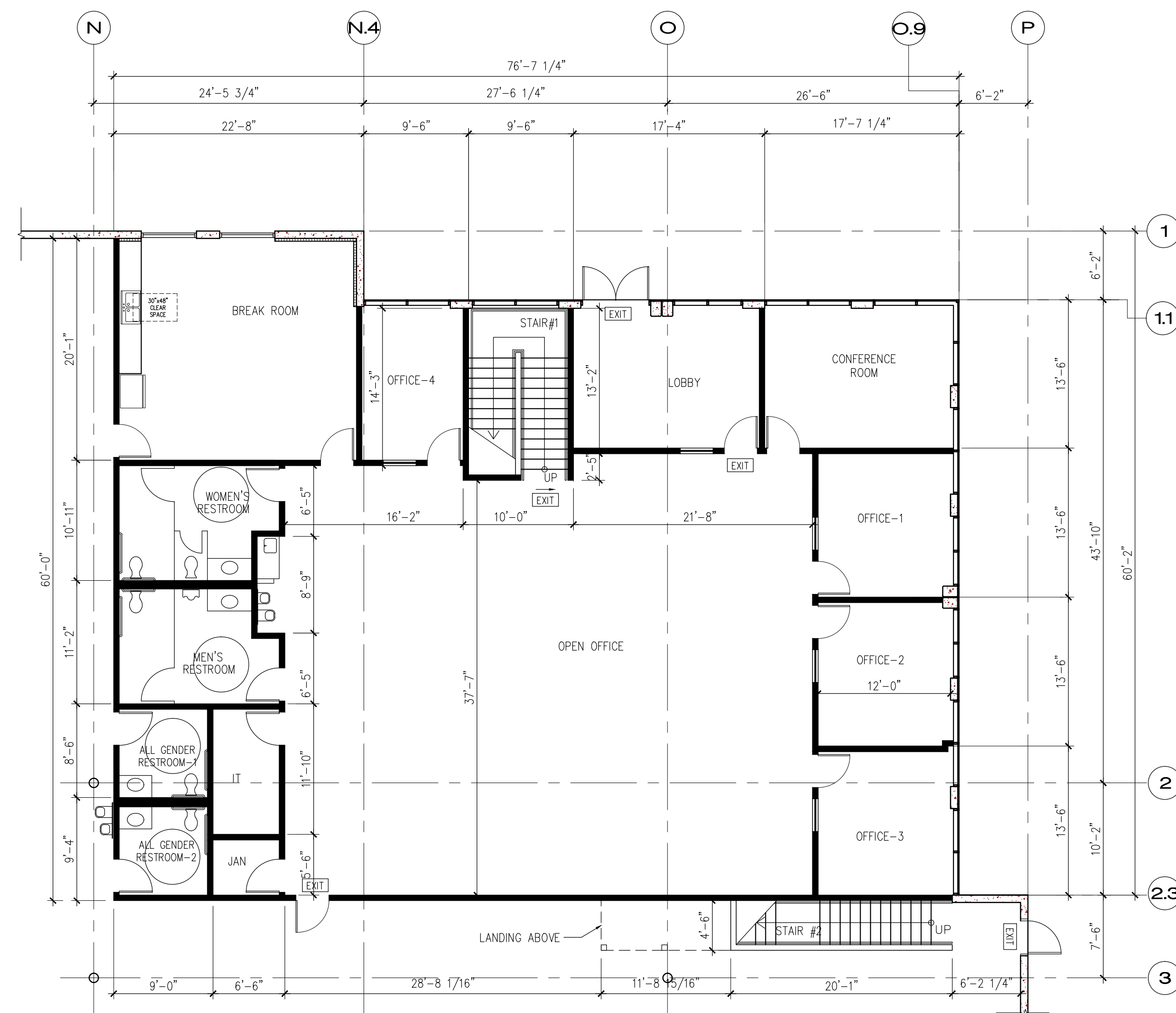
ENLARGED OFFICE  
PLANS



OFFICE MEZZANINE PLAN  
(3,856 SF.)

SCALE: 1/8" = 1'-0"

B



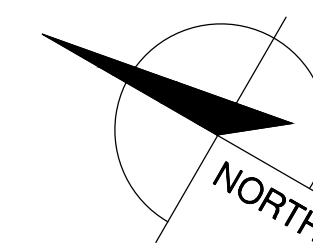
OFFICE FIRST FLOOR PLAN  
(4,209 SF.)

SCALE: 1/8" = 1'-0"

A

ENLARGED OFFICE PLANS

SCALE: 1/8" = 1'-0"



Revisions : Date :

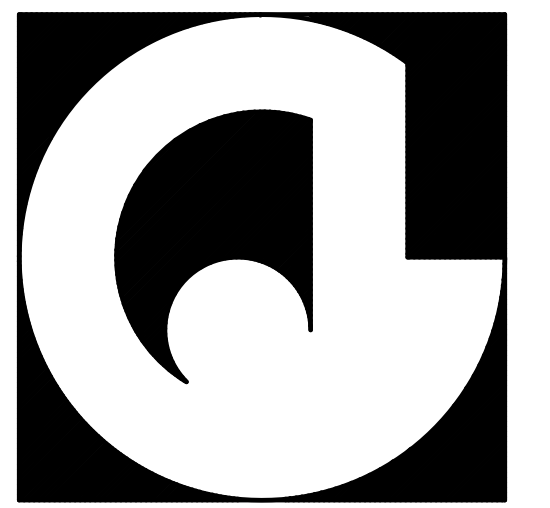
Revisions	Date

Designer : J.C.  
Manager : E.O.C./V.B.  
Date : 4/19/2018  
Job No : 2013-044  
Scale : AS NOTED

Drawing No :

A-4

SHEET : OF :



ARCHITECTURE . ENGINEERING

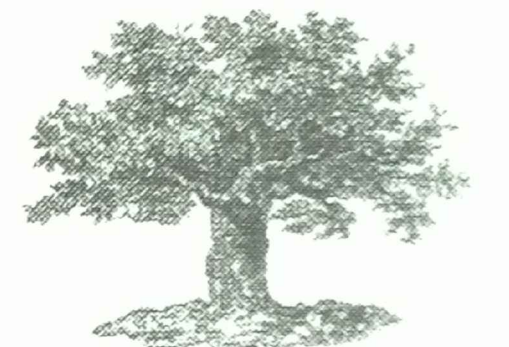
855 MISSION STREET, SOUTH PASADENA, CA 91030  
OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

7316 GAGE AVENUE  
COMMERCE, CA 90040

DEVELOPER :

JOHN B. CATALANO ARCHITECTURE . ENGINEERING . P.C.



COMSTOCK REALTY  
PARTNERS

1801 CENTURY PARK EAST, SUITE 100  
LOS ANGELES, CA 90067  
(310) 445-5550  
www.comstockrealtypartners.com

Drawing Content :

PROPOSED  
ELEVATIONS

Revisions : Date :

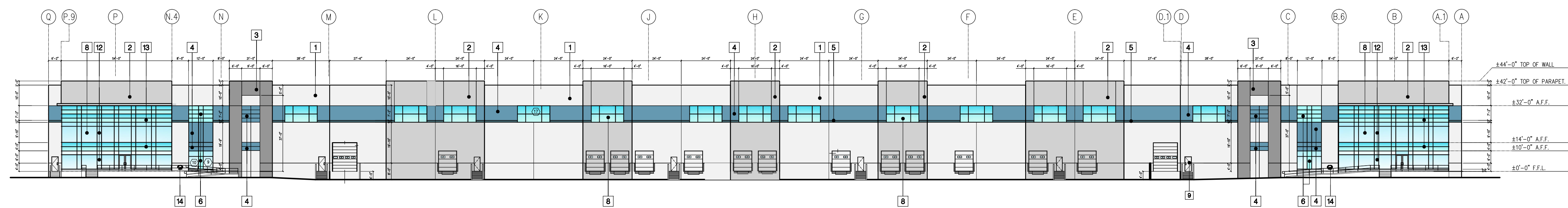
Revisions	Date

Designer : J.C.  
 Manager : E.O.C./V.B.  
 Date : 4/19/2018  
 Job No : 2013-044  
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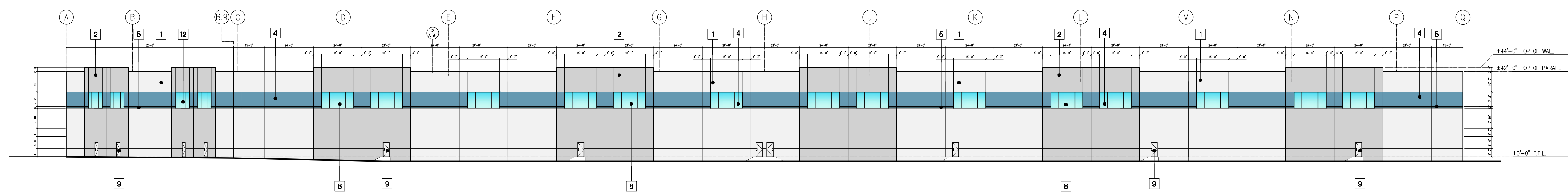
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SHEET : OF :



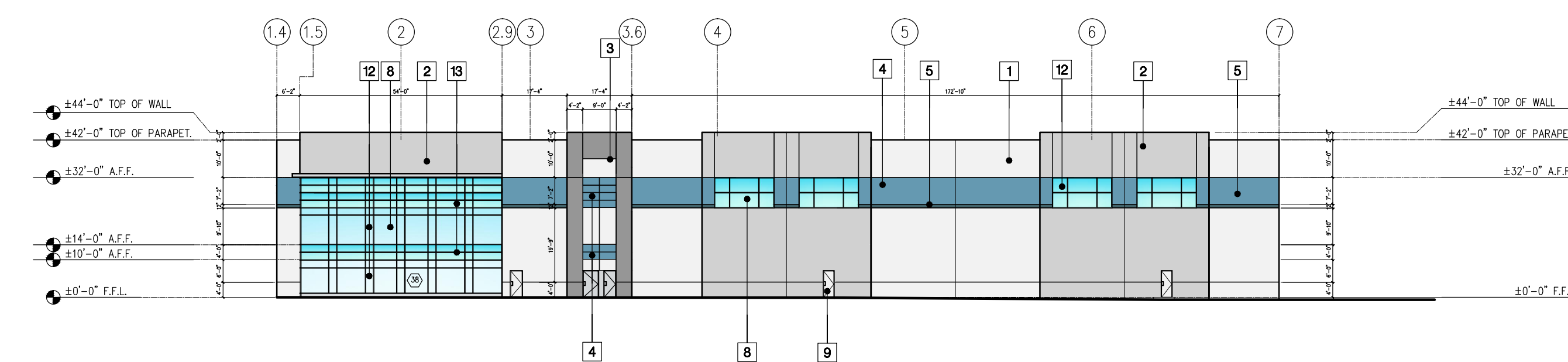
PROPOSED NORTH ELEVATION

SCALE: 1"=30'-0"



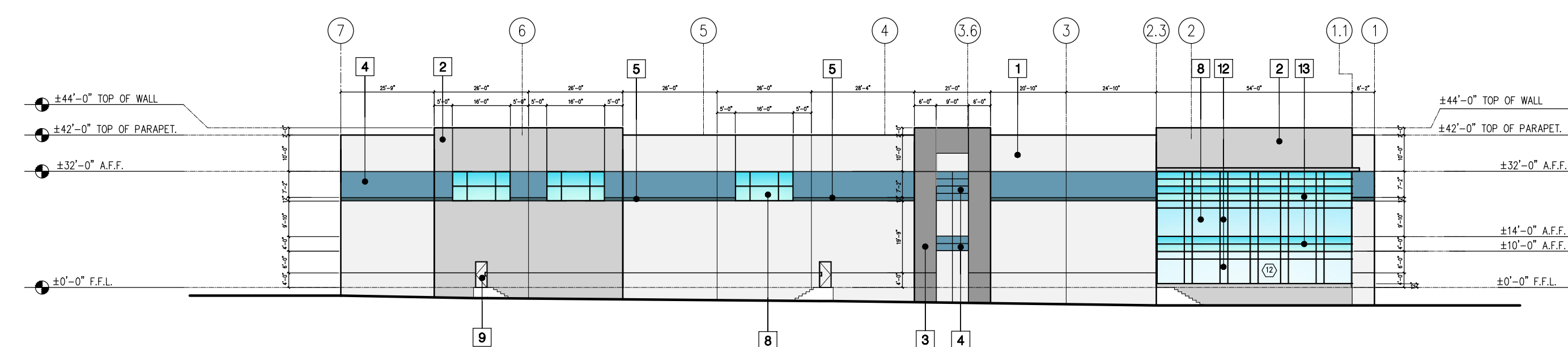
PROPOSED SOUTH ELEVATION

SCALE: 1"=30'-0"



PROPOSED WEST ELEVATION

SCALE: 1"=30'-0"



PROPOSED EAST ELEVATION

SCALE: 1"=30'-0"

KEYNOTES:

- |   |  |
|---|--|
| 1 BUILDING COLOR #1<br>DUNN EDWARDS PAINT<br>VAPOR (DE-6958)<br>OR EQUAL          | 7 SOLARBAN GLASS<br>PPG INDUSTRIES<br>SOLARBLUE TINT<br>OR EQUAL     |
| 2 BUILDING COLOR #2<br>DUNN EDWARDS PAINT<br>MINERS DUST (DEC-786)<br>OR EQUAL    | 8 SOLARBAN GLASS<br>PPG INDUSTRIES<br>AZURIA TINT<br>OR EQUAL        |
| 3 BUILDING COLOR #3<br>DUNN EDWARDS PAINT<br>FORMAL GREY (DE-6382)<br>OR EQUAL    | 9 HOLLOW METAL DOOR & FRAME<br>TO MATCH BLDG. COLOR<br>TYPICAL       |
| 4 ACCENT COLOR #1<br>DUNN EDWARDS PAINT<br>LAKE LUCERNE (DE-5808)<br>OR EQUAL     | 10 SEE ELEC. FOR SPECIFICATIONS<br>WALL SCONCE                       |
| 5 ACCENT COLOR #2<br>DUNN EDWARDS PAINT<br>BEFORE THE STORM (DE-5798)<br>OR EQUAL | 11 CLEAR ANODIZED ALUMINUM<br>METAL FRAME                            |
| 6 ACCENT COLOR #3<br>DUNN EDWARDS PAINT<br>WINTER CHILL (DE-5758)<br>OR EQUAL     | 12 SPANDREL GLASS<br>TO MATCH PPG INDUSTRIES<br>AZURIA TINT GLASS    |
|   | 13 SPANDREL GLASS<br>TO MATCH PPG INDUSTRIES<br>SOLARBLUE TINT GLASS |
|   | 14 OAK TREE PATTERN<br>ON CONCRETE<br>(24" HIGH, 3/4" DEPRESSION)    |

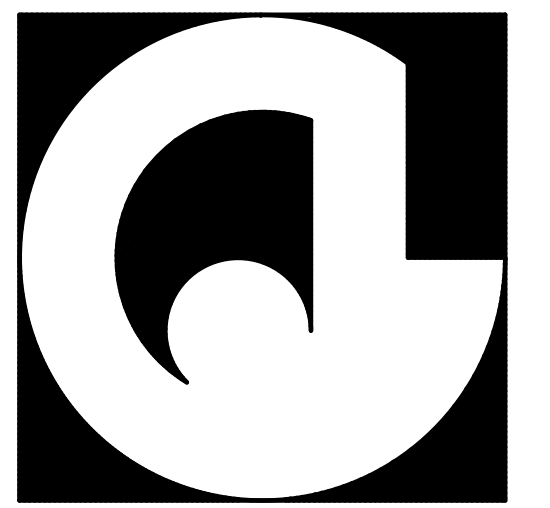
LEGEND:

- ① WINDOW NUMBER  
② DOOR NUMBER

GENERAL NOTES:

- ALL EXTERIOR GLASS MULLIONS TO BE CLEAR ANODIZED
- T = TEMPERED S = SPANDREL
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT TO REVIEW ALLOW TWO WEEKS FOR REVIEW PROCESS.
- CONTRACTOR TO FIELD VERIFY ALL APPLICABLE CONDITIONS PRIOR TO COMMENCING ANY WORK.
- PROVIDE MINIMUM 8" ADDRESS NUMBERS METALLIC GRAY MATERIAL FOAM.





ARCHITECTURE . ENGINEERING

855 MISSION STREET, SOUTH PASADENA, CA 91030  
OFFICE : 626-799-4400 FAX : 626-799-7010

PROJECT NAME & SITE ADDRESS:

7316 GAGE AVENUE  
COMMERCE, CA 90040

DEVELOPER :

JOHN G. CATALDO  
A.I.A. C.S.I.



COMSTOCK REALTY  
PARTNERS

1801 CENTURY PARK EAST, SUITE 100  
LOS ANGELES, CA 90067  
(310) 445-5550  
www.comstockrealtypartners.com

Drawing Content :

PROPOSED  
ENLARGED  
ELEVATIONS

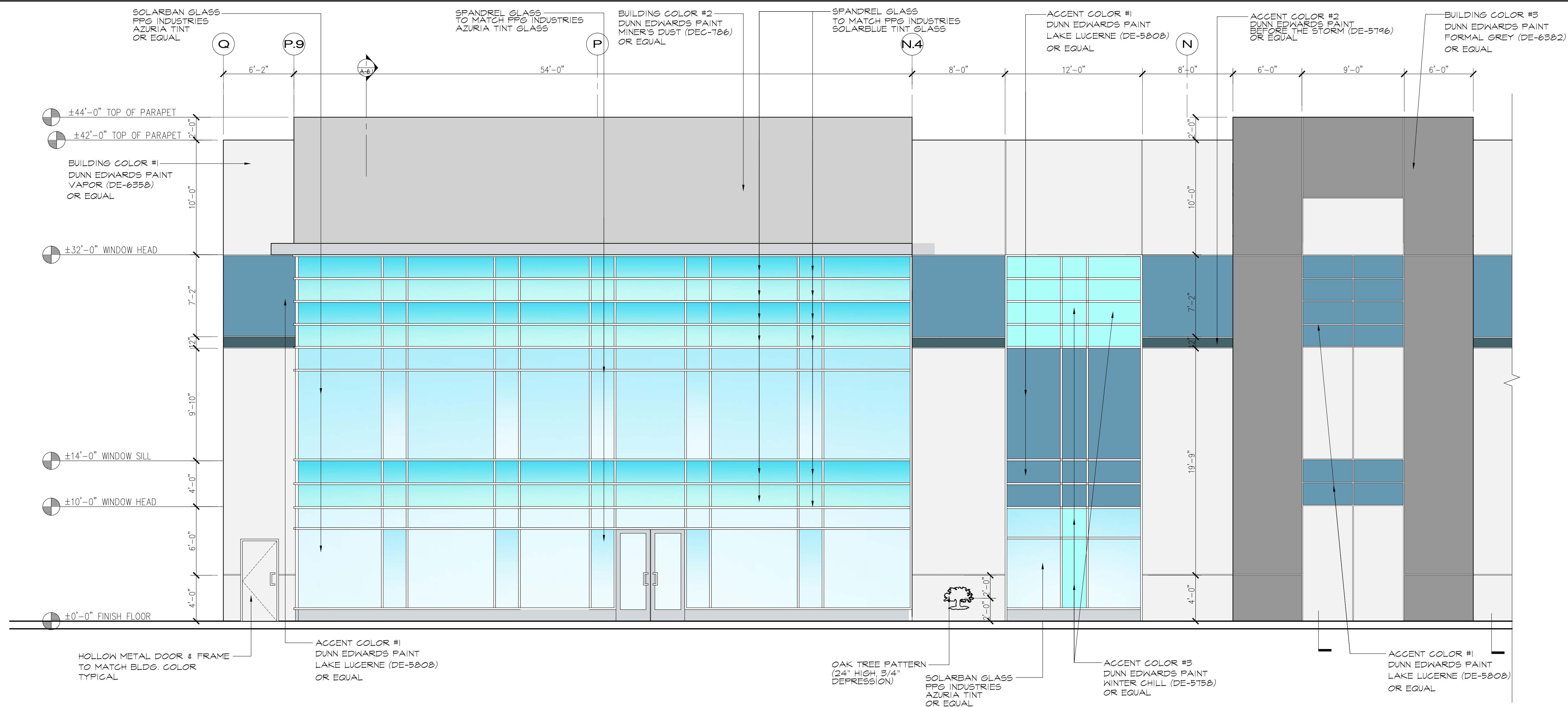
Revisions : Date :


Designer : J.C.  
 Manager : E.O.C./V.B.  
 Date : 4/19/2018  
 Job No : 2013-044  
 Scale : AS NOTED

Drawing No :

A-5.1

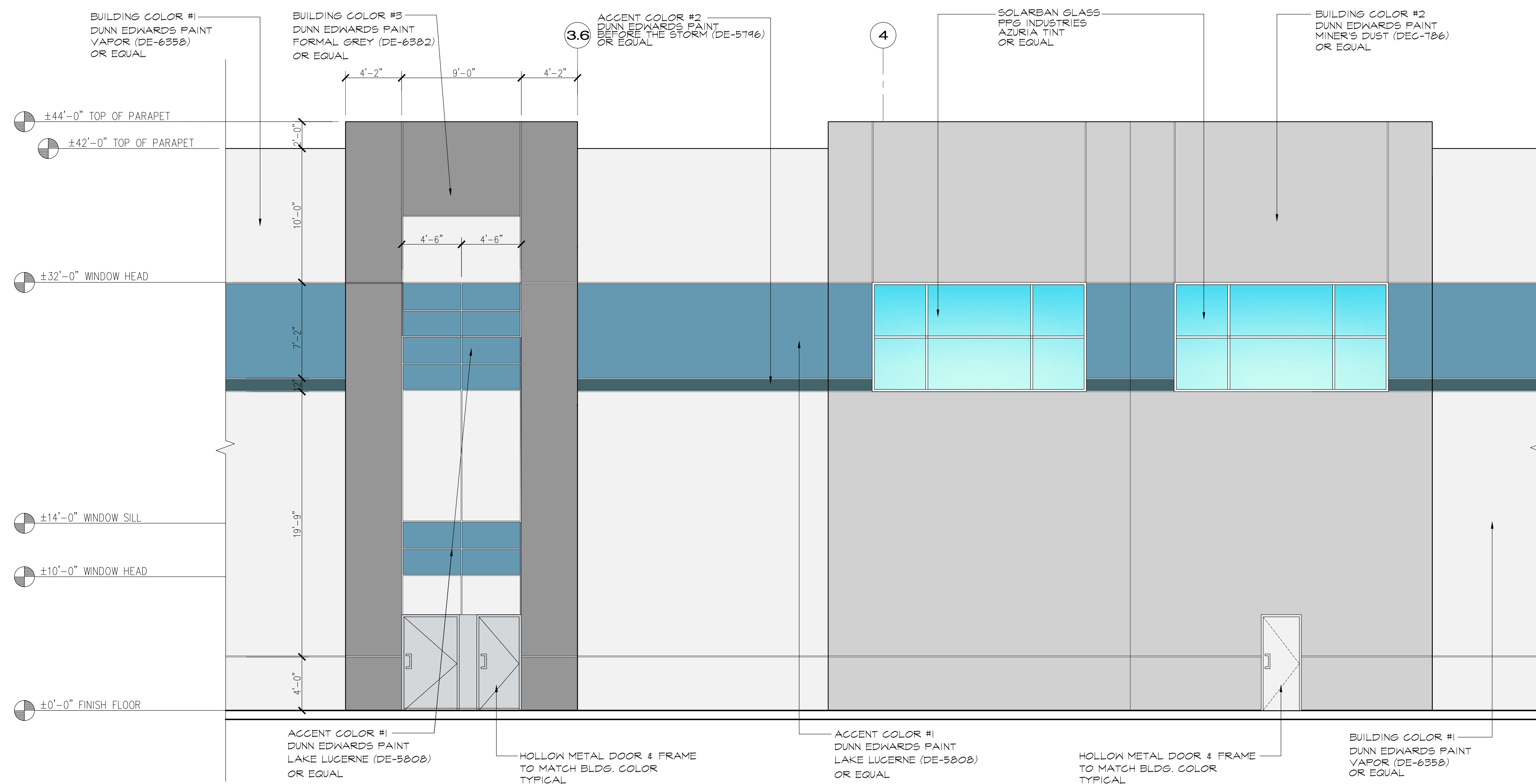
SHEET : OF :



PARTIAL ENLARGED SOUTH ELEVATION-A

SCALE:  
1/4"=1'-0"

1



PARTIAL ENLARGED SOUTH ELEVATION-B

SCALE:  
1/4"=1'-0"

2

*Call to Order. Open public comment. No public comment. Public comment closed. Chairperson was asked to move item number 2 on the agenda to item number 1, to be discussed first. Chairperson asked the Planning Commission if this was okay. Audio implies agreement by the Commission.*

*(First item discussed)*

*(Second item discussed was A Plot Plan Request for the property at 7316 East Gage Avenue, in the City of Commerce)*

## CITY PLANNER

Chairperson Gonzalez opens the public hearing on Plot Plan No. 989. Jose Jimenez, the City Planner, presented the item to the Planning Commission. Jimenez stated that the plot plan was for 7316 East Gage Avenue. Jimenez showed the Commission an image of the site and presented a plot plan request to allow the construction of a manufacturing building that would measure 172,780 square feet. The property site, which was a former registered land fill, is approximately 7.7 acres and is located in the CM1 light industrial zoning area. Jimenez mentioned that under section 19.39 of the City's Municipal Code, a plot plan review is triggered when a project consists of a proposed building in excess of 25,000 square feet. Jimenez also stated that CEQA analysis was completed for the proposed project. As designed, the proposal only needed the approval of the plot plan; no variances or conditional use permits were required.

Jimenez stated that the landfill at the site dated back to the mid-1950s. According to records, the landfill was closed around 1954. A building was constructed on the property subsequent to the closure of the landfill. The building occupied the project site until the 1990s. The building was eventually demolished because it was compromised by compaction and movement in the soil. The site has remained vacant.

Jimenez stated that the current applicant purchased the property a few years ago and is interested in proceeding with the project. Of the property's 172,780 square feet, the applicant plans on devoting 156,000+ square feet of the property to commercial manufacturing. The remaining 16,000 square feet of the property would be utilized as office space, which would be ancillary to the commercial manufacturing uses occurring on the property.

Jimenez stated that the building has an approximate footprint of 165,000 square feet. The building project would include the construction of 214 surface parking spaces and 14 loading docks.

Jimenez stated that the applicant proposed that the building be a Class A industrial building with the potential for configuration, so that it might be used by one or more prospective tenants who would provide industrial support services in the area or region. As configured, the interior space would have vertical heights of approximately 36 feet. This would allow the applicant to use and configure the property to the needs of the industry. It could accommodate heavy cranes, CNC machinery, and high-pile storage racks. Depending on the configuration, the property could also

accommodate up to 150 individuals. He stated that the total height, measured from the exterior, would be 44 feet.

Jimenez stated that the applicant has been actively working with the California Regional Water Quality Control Board to ensure that the property, prior to building occupation, will conform to all requirements. The applicants will be excavating, sorting, and arranging for the disposal of the landfill waste, and will introduce cleaner soil that will allow the building to withstand many more years than the previous building on the property. The soil at the subject site would be remediated prior to moving forward with a proposal to construct a building on the property.

Jimenez stated that the proposal complies with the building envelope requirements of the zoning code. The code requires that an applicant provide at least 211 parking spaces, and the proposal provides for 214 parking spaces. The code requires that the number of proposed large vehicle parking spaces equal the number of dock bays on the property, and the proposal provides for 14. The zoning ordinance also includes general development standards and design guidelines intended to protect and improve the environment and the appearance of the community, and to deter blight and nuisances. Jimenez mentioned that guidelines address issues but are not limited to any specific contextual design, landscape, or architectural treatment or circulation. Here, the concrete building is aligned with ample fenestration, and has a well-articulated prominent entrance facing the ingress/egress driveway. The building elevations would include design elements such as reveals and scoring to add aesthetic appeal. Jimenez mentioned that the proposal also recommended that any future design be subject to the review of the Committee/Sub-committee/Counsel.

Jimenez stated that Planning Staff believed that the necessary findings could be made to approve the plot plan to allow the construction of the proposed building. He stated that the building complied with zoning code requirements in terms of building envelope, size, setback, and number of parking spaces. Jimenez concluded by stating that Planning Staff recommended that the Planning Commission approve Plot Plan No. 989, and that it adopt the mitigated negative declaration from CEQA.

Chairperson Gonzalez of the Planning Commission, asked if anyone on the Commission had any comments on Jimenez' report.

Commissioner Peraza stated that the community of the City of Commerce wanted more housing and forms of economic development. He stated his disapproval of this type of commercial manufacturing facility being placed at the site. He expressed his belief that more housing would attract more businesses to the City of Commerce. He mentioned prior discussions about the prospect of using the site as a golf range.

#### PLANNING STAFF

Commissioner Peraza inquired whether Matt had ever engaged in conversations with the applicant about the different types of uses for the property other than for use as a warehouse. Matt responded that he had had many conversations with the applicant regarding the different

potential uses for the property and layouts for the building. Matt stated that the proposal seemed to be consistent with the City of Commerce's development standards and design guidelines. He stated that the applicant's uses of the property would have to be consistent with the City's current zoning ordinances and general plan. If they failed to conform to these standards and guidelines, the use would not be permitted or the tenants would need to ask the Planning Commission to amend the code and/or the general plan.

Matt also stated that using the property for housing was discussed by previous administrations, and that there are environmental issues associated with placing housing so close to a freeway that is as highly travelled as the freeway adjacent to this property.

Commissioner Lainez asked Planning Staff how many feet the facility would be from the Interstate 5 freeway. Planning Staff responded that the distance would be roughly 50 feet. Male Commissioner commented that he believed air quality officials typically advised that housing be built approximately 500 feet away from a freeway because of the risk of adverse health effects. Commissioner Lainez acknowledged the need for more housing in the City, but expressed concerns as to placing housing in this particular location. Commissioner Lainez stated that he liked the design of the proposed building, but expressed concern about the glare of the windows obstructing the view of drivers on the nearby freeway. Planning staff responded that light and glare were issues covered by the CEQA consultants in their environmental analysis for this project, and that they could address this concern for the Commission.

Commissioner Serfozo stated that she shared the same sentiments as Commissioner Peraza regarding the City's need for more housing. She stated that she believed the property was an ideal location for housing because of its proximity to the adjacent park and freeway. She stated that the City is in desperate need of housing because it currently has 13,000 residents and lacks retail and development centers that residents typically desire. She stated that the Commission needs to be strategic in how it moves forward in developing and mapping out the City. She also stated that the Commission should begin rezoning certain sections of the City so that it can avoid further plot plan requests for commercial manufacturing uses, such as the one before the Commission. She expressed concern in using prime locations such as this for manufacturing purposes.

Chairperson Gonzalez stated that although the City is in need of housing, this issue is for a separate conversation than the proposal at hand. He stated that in the interest of moving the conversation forward, the Commission should address questions to Planning staff that are specific to this site.

Chairperson Gonzalez invited the proposal applicant to answer and address questions from the Commission.

#### APPLICANT

Charles Calderon, speaking on behalf of the project applicant emphasized that the applicant would clean the landfill and build a beautiful building that would make a positive statement

about the City of Commerce. He also mentioned that the area where the property is located is currently a haven for the transient population, and cleaning it up would put it back into good use. Calderon introduced his team and their backgrounds.

#### ADRIAN COMSTOCK

Adrian Comstock, from Comstock Realty Partners, stated that his address is 1801 Century Park East, Los Angeles, California. Comstock stated that they have owned the property for 5 years and he has spent over 6 years working with the City and acquainting himself with this specific property. He commented that he underestimated the environmental cleanup and approval process. In August 2016, he received an approved remedial action plan from the Water Board, which included a CEQA mitigated negative declaration document for the cleanup project. The cleanup plan on the property entailed removing all waste debris in the soil (about 20 feet deep into the land) and across the entire property. The removed waste would need to be taken to a nearby landfill that had been certified and pre-approved by the Water Board. They would then need to refill the hole in the land with new, clean soil that met the 2018 Water Board standards. The goal was to remove all environmental contamination from the property. The cleanup project alone cost approximately 10 million dollars, not including the construction of the building. He stated that they have explored all other potential uses, including the property's use as a golf range, a retail location, and a housing location.

He stated that a golf range would not economically justify a 10 million dollar clean up because a driving range would be economically infeasible. He also mentioned that once the cleanup plan was initiated with the Water Board, they would need to finish it and fill the old landfill with new soil.

The applicant also shared that they have explored a number of retail options. The applicant shared that the project site is faced with overcoming the fact that the entrance to the lot faces a hotel, which would obscure the visibility of a retail store on the property from the street. For this reason, no retailer would engage in negotiations with them to place a store on the property. He argued that this makes the property a non-ideal location for a retail store.

Comstock also stated that the property's proximity to the freeway makes it very difficult to construct housing there, and the environmental approval process would be longer. He emphasized that their proposed use of the property would employ up to 150 people, and would likely have a tenant that would be based in the City, which would drive revenue to the City. He noted that they cannot predict what the actual use of the building would be, but that its use could be quasi-retail, and the City would economically benefit. The building would also serve as a pollution and sound attenuation for the adjacent park and nearby neighborhood.

Comstock addressed the traffic mitigation value that the project would have on the surrounding streets. It would increase the flow of traffic and minimize congestion. He did not anticipate heavy truck traffic for the building.

Chairperson Gonzalez asked Comstock what type of manufacturing and what possible tenants he thought they might seek for the building. Comstock responded that it was difficult to predict what type of tenants they would have.

Chairperson Gonzalez asked Comstock whether internal changes to the building would require review or approval from the Commission. Comstock responded that all uses would need to conform to standards.

Commissioner Lainez asked if any of the potential tenant uses of the property could add more pollutants to the surround area. Comstock responded that they would look for clean use tenants and make sure that their leases were airtight in restricting how the tenants could use the property, in order to avoid this issue. He also stated that the adjacent park is on the same landfill that the property at issue is currently on, and that they are constructing a wall into the ground so that the park's soil and waste does not pollute the property's soil once it is cleaned.

Comstock stated that notice would be posted so that the surrounding neighborhood and businesses would be aware that building construction was ongoing.

#### CEQA CONSULTANT

Kimberly Camacho with Environmental Science Associates stated that her address is 5175 West 131 Street Hawthorne, CA. Chairperson Gonzalez inquired as to the expected environmental impacts of the project. Camacho discussed the traffic mitigation that would occur at two intersections near the property.

#### CITY PLANNER

Jose Jimenez, City Planner, discussed how the project complied with notice requirements.

#### ARCHITECT

The architect did not state his name, but stated his address as 835 Mission Street, Pasadena. The architect stated that he made every effort to design the building with concerns in mind about the adjacent park, the parking, and the appearance of the building from the freeway.

#### PUBLIC COMMENT

Gloria Nezahualcoyotl stated that her address is 7206 Paseo Del Rio, and that she lives close to the property. Gloria expressed her disfavor for the project because of the traffic that the 200+ employee cars and trucks that the new building would bring to the building. She also stated that her commute on Gage is already long, and the proposed traffic mitigation would not lessen this.

Richard Hernandez stated that his address is 5050 Noble Street, City of Commerce. He stated concerns about the distance between any freeway and a residential housing area, but also mentioned that the 5 freeway and 710 freeway are already close to residential areas. He also

expressed concerns about the environmental impact and pollution of future tenants and uses of the building.

#### CLOSE PUBLIC COMMENT

##### ADRIAN COMSTOCK

Comstock stated that the CEQA documents take into account the time of day that construction would occur and addresses mitigations for dust and traffic that could impact the property's surrounding area during the construction.

Commissioner Grajeda inquired about the number of trucks that would be coming in and out of the property. Comstock responded that truck traffic would be low because the property use would be for manufacturing rather than for a warehouse. Comstock estimates about 28 truck trips per day, or 3.5 truck trips an hour. Comstock also mentioned that they followed all of California's low impact standards for drainage.

#### DECISION

Commissioner Peraza introduced a motion to deny Plot Plan No. 989, Commissioner Grajeda seconded the motion. **The Planning Commission voted unanimously (5-0) to deny Plan Plot No. 989.** The decision of the Planning Commission was subject to a 14 day appeal period to the City Counsel.

#### FINAL COMMENTS

Commissioner Grajeda stated that the City is making a slow but certain transformation from an industrial city to something more diverse. She is hopeful that the property will be used for a purpose other than manufacturing. Commissioner Lainez stated that the Planning Commission is trying to transform the identity of the City of Commerce.