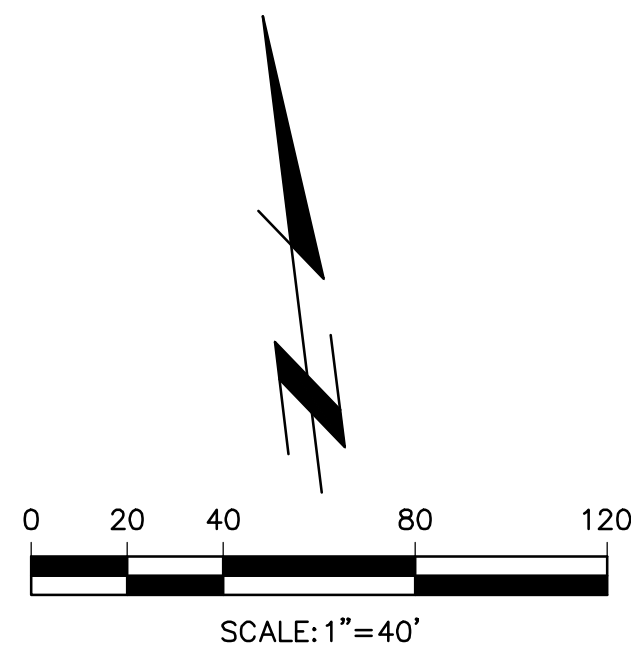
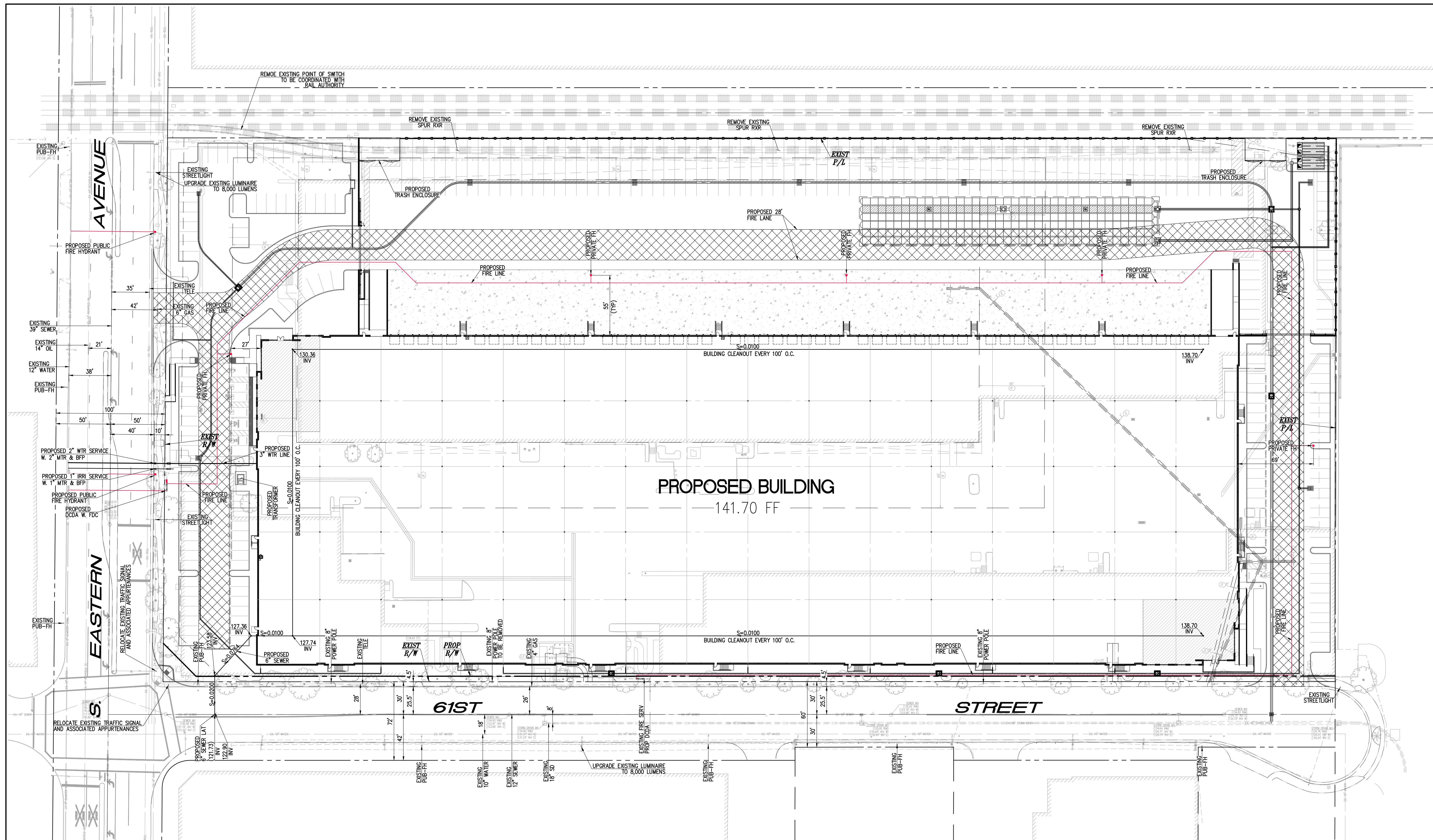


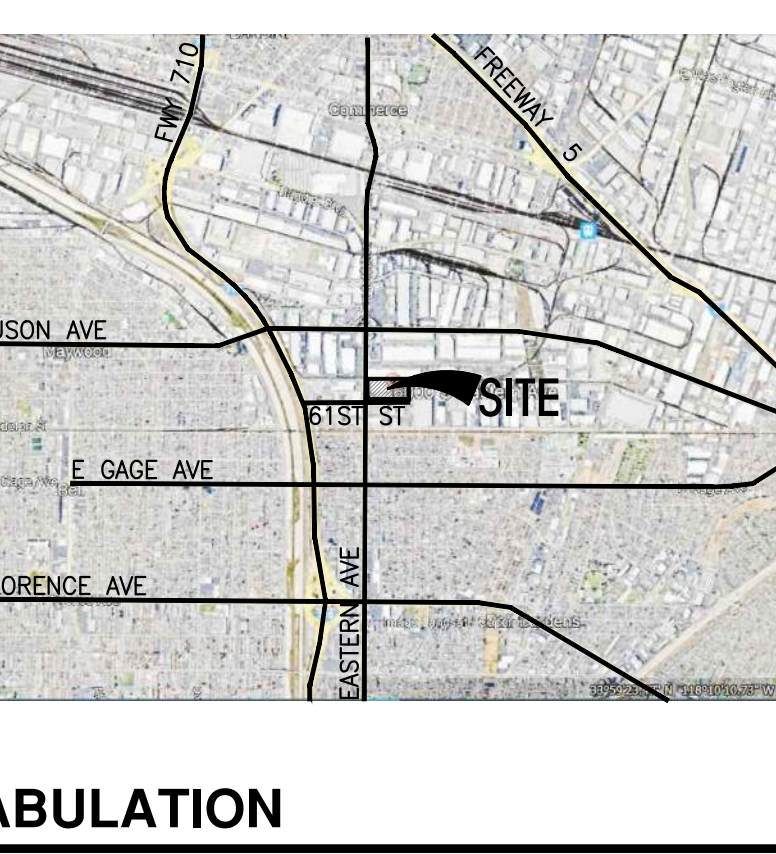


PREPARED FOR:
LINK LOGISTICS REAL ESTATE
3333 MICHELSON DRIVE, SUITE 725
IRVINE, CA 92612
PHONE: (949) 292-5181
CONTACT: AMANDA CRISCIONE
ACRISCIONE@LINKLOGISTICS.COM

PREPARED BY:
Thienes Engineering, Inc.
CIVIL ENGINEERING • LAND SURVEYING
14349 PRESTON BOULEVARD
LA MIRADA, CALIFORNIA 90638
PH: (714) 521-4311 FAX: (714) 521-4173

CITY OF COMMERCE	
PUBLIC WORKS DEPARTMENT	
CONCEPTUAL UTILITY PLAN	
PONDEROSA COMMERCE CENTER 6000 S. EASTERN AVE. COMMERCE, CA.	
Designed by _____ Date _____ Checked by _____ Date _____ Designed by _____ Date _____ Checked by _____ Date _____	Approved by _____ Date _____ Public Works Director R.C.E. XXXXX
Sheet 2 of 4 Sheets	

4291 / 2 OF 4 SHEETS

PROPERTY OWNER																	
LINK INDUSTRIAL PROPERTIES 3333 MICHAELSON DR. IRVINE, CA. 92612 909-223-9035																	
ADDRESS OF THE PROPERTY																	
6000 S. EASTERN AVENUE COMMERCIAL, CA. 90040																	
ASSESSOR'S PARCEL NUMBER																	
6332-016-001																	
ZONING																	
HEAVY INDUSTRIAL (M-2)																	
LEGAL DESCRIPTION																	
APPLICANT																	
LINK INDUSTRIAL PROPERTIES 3333 MICHAELSON DR. IRVINE, CA. 92612 909-223-9035																	
APPLICANT'S REPRESENTATIVE																	
HPA ARCHITECTS 18831 BARDEEN DEVEN AVE SUITE 100 IRVINE, CA. 92612 949-244-7860 CONTACT: JAMIE CRUZ																	
VICINITY MAP																	
																	
TABULATION																	
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: left; padding: 5px;"><u>SITE AREA</u></td> </tr> <tr> <td style="padding: 5px;">In s.f.</td> <td style="text-align: right; padding: 5px;">533,865 sf</td> </tr> <tr> <td style="padding: 5px;">In acres</td> <td style="text-align: right; padding: 5px;">12.26 ac</td> </tr> <tr> <td colspan="2" style="text-align: left; padding: 5px;"><u>BUILDING AREA</u></td> </tr> <tr> <td style="padding: 5px;">Office - 1st floor</td> <td style="text-align: right; padding: 5px;">5,000 sf</td> </tr> <tr> <td style="padding: 5px;">Office - 2nd floor</td> <td style="text-align: right; padding: 5px;">5,000 sf</td> </tr> <tr> <td style="padding: 5px;">Warehouse</td> <td style="text-align: right; padding: 5px;">265,400 sf</td> </tr> <tr> <td style="padding: 5px;">TOTAL</td> <td style="text-align: right; padding: 5px;">275,400 sf</td> </tr> </table>		<u>SITE AREA</u>		In s.f.	533,865 sf	In acres	12.26 ac	<u>BUILDING AREA</u>		Office - 1st floor	5,000 sf	Office - 2nd floor	5,000 sf	Warehouse	265,400 sf	TOTAL	275,400 sf
<u>SITE AREA</u>																	
In s.f.	533,865 sf																
In acres	12.26 ac																
<u>BUILDING AREA</u>																	
Office - 1st floor	5,000 sf																
Office - 2nd floor	5,000 sf																
Warehouse	265,400 sf																
TOTAL	275,400 sf																

<u>FLOOR AREA RATIO</u>	
Maximum Allow ed	1.00
Actual	0.516
<u>LOT COVERAGE</u>	
Maximum Allow ed	60%
Actual	50.6%
<u>AUTO PARKING REQUIRED</u>	
Office: 1/300 s.f.	34 stalls
Whse: 1/2,000 s.f.	134 stalls
TOTAL	168 stalls
<u>ADA PARKING REQUIRED</u>	
ADA Van (12'x18'+5' aisle)	1 stalls
ADA Std. (9'x18'+5' aisle)	5 stalls

Total	6 stalls
EV PARKING REQUIRED	
EV Capable w/ith EVSE	9 stalls
EV Capable w/o EVSE	24 stalls
EV ADA w/ith EVSC (12'X18'+5' aisle)	1 stalls
EV std. w/ith EVSC (9'X18'+5' aisle)	1 stalls
Total	35 stalls

<u>AUTO PARKING PROVIDED</u>	
Standard (9' x 18')	128 stalls
ADA Van (12'x18'+5' aisle)	1 stalls
ADA Std. (9'x18'+5' aisle)	5 stalls
EV Capable w/ith EVSE	9 stalls
EV Capable w/o EVSE	24 stalls
EV ADA w/ith EVSC (12'X18'+5' aisle)	1 stalls
EV std. w/ith EVSC (9'X18'+5' aisle)	1 stalls
Total	169 stalls

<u>TRAILER PARKING PROVIDED</u>	
Trailer (10' x 53')	76 stalls

ZONING ORDINANCE
Zoning - Heavy Industrial M2

<u>MAXIMUM BUILDING HEIGHT ALLOWED</u>	
Height - none	

LANDSCAPE REQUIREMENT
Percentage - 5%

LANDSCAPE PROVIDED	
In s.f.	34,298 sf
Percentage	6.4%

SETBACKS	
<u>Building</u>	<u>Parking</u>
Front - 15'	10' between street
Side/Rear - 0'	ROW and parking

CODE ANALYSIS:

CONCRETE TILT-UP BUILDING	
CONSTRUCTION TYPE:	III-B
NUMBER OF STORIES:	1 (WITH 2ND FLOOR FOR OFFICE)
AUTOMATIC FIRE SPRINKLER	YES (ESFR)
BUILDING AREA	275,400 SF

FIRE NOTES:

THE REQUIRED FIRE FLOW FROM PUBLIC FIRE HYDRANTS FOR THIS PROJECT IS 4,000 GPM AT 20 PSI RESIDUAL PRESSURE FOR 2 HOURS (REDUCTION INCLUDED PER INFO ON APPLICATION). 3 PUBLIC FIRE HYDRANTS FLOWING SIMULTANEOUSLY FROM THE SAME WATER MAIN MAY BE USED TO ACHIEVE THE REQUIRED FIRE FLOW.

THE LOCATION OF THE PRIVATE FIRE HYDRANTS ARE PENDING AT THIS TIME UNTIL LOCATION OF THE PULIC HAVE BEEN DETERMINED. THE REQUIRED FIRE FLOW FOR PRIVATE FIRE HYDRANTS FOR THIS PROJECT IS 2,500 GPM AT 20 PSI RESIDUAL PRESSURE FOR 2 HOURS. EACH PRIVATE FIRE HYDRANTS SHALL BE CAPABLE TO SUPPLY OF FIRE FLOW NO LESS THAN 1,250 GPM AT 20 PSI RESIDUAL PRESSURE FOR 2 HOURS DURATION.

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONC. PAVEMENT,
- 2 BIKE RACK
- 3 CONCRETE WALKWAY
- 4 DRIVEWAY APRONS PER CITY STANDARDS.
- 5 5'-5"X5'-6"X4" MIN. THICK CONCRETE EXTERIOR LANDSCAPE PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" : 12" MAX.
PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY W/ 1:20 MAX. AS REQ. BY CITY INSPECTOR.
- 6 CONCRETE TILT-UP SCREEN WALL (14 FT)
- 7 METAL GATES (8 FT) W/ KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 6" HIGH CONCRETE TILT UP TRASH ENCLOSURE. (1,477 SF REQUIRED; 1,480 SF PROVIDED.)
- 9 APPROXIMATE LOCATION OF THE TRANSFORMER AND GENERATOR
- 10 6" HIGH PRE-CAST CONC. WHEEL STOP
- 11 CONC. FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- 12 EXTERIOR CONC. STAIR.
- 13 LANDSCAPE.
- 14 LANDSCAPE DIAMOND.
- 15 ACCESSIBLE ENTRY SIGN
- 16 ACCESSIBLE PARKING STALL SIGN
- 17 8' HIGH METAL FENCE
- 18 12" HIGH WHEEL STOP

SITE LEGEND

- | | | | |
|---|--|---|--|
|  | LANDSCAPED AREA |  | LIGHT STANDARD |
|  | CONCRETE PAVING
SEE "C" DRWS. FOR THICKNESS |  | EXISTING PUBLIC
FIRE HYDRANT |
|  | ASPHALT CONCRETE PAVING
SEE "C" DRWS. FOR THICKNESS |  | PRIVATE FIRE HYDRANT
APPROXIMATE LOCATION |
|  | STANDARD PARKING
STALL (9' x 18') |  | CATCH BASIN
APPROX. LOCATION |
|  | ACCESSIBLE PARKING
STALL (9' x 18') |  | —W— WATER LINE |
|  | VAN ACCESSIBLE PARKING
STALL (12' x 18') |  | —G— GAS LINE - SEE CIVIL |
|  | |  | —S— SEWER LATERAL |
|  | EV CHARGING STALL W/O EVCS (9'X18')
VEHICLE - SEE DETAIL 17A/AD.1. SEE
DETAIL 17A/AD.1. | | |
|  | EV CHARGING STALL WITH EVCS (9' X
18'). VEHICLE - SEE DETAIL 17B/AD.1.
SEE K/AD.6 FOR EV CHARGING PARKING
SIGN. ALSO SEE ELECTRICAL DRAWINGS. | | |
|  | PATH OF TRAVEL | | |

SITE PLAN GENERAL NOTES

- | | |
|--|---|
| 1. THE SOILS REPORT PREPARED BY _____ | 11. NOT USED |
| SHOULD BE A PART OF THESE CONTRACT DOCUMENTS. | |
| 2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE. | 12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT. |
| 3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O. | 13. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF BUILDING PERMITS. |
| 4. USE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SCALES. DETAILS ON SHEET AD.1 ARE MINIMUM STANDARDS. | 14. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC UTILITIES DEPARTMENT. |
| 5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM, PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION. | 15. NOT USED |
| 6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS. | 16. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC UTILITIES DEPARTMENT. |
| 7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS. | 17. NOT USED. |
| 8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS. | 18. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB. |
| 9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS. | 19. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT |
| 10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" SEE "L" DRAWINGS OR FINISH. | |



HPA Inc.
18831 Bardeen Avenue, Ste.100
Irvine, CA 92612

Tel : 949-863-1770

Owner:
Link Industrial
Properties



3401 Etiwanda Avenue
Jurupa Valley, CA. 91752
Tel : 909-223-9035

Project:

Ponderosa
Commerce
Center

6000 S. Eastern Ave.
Commerce, CA. 90040

Consultants:

- CIVIL
- STRUCTURAL
- MECHANICAL
- PLUMBING
- ELECTRICAL
- LANDSCAPE
- FIRE
- SOILS

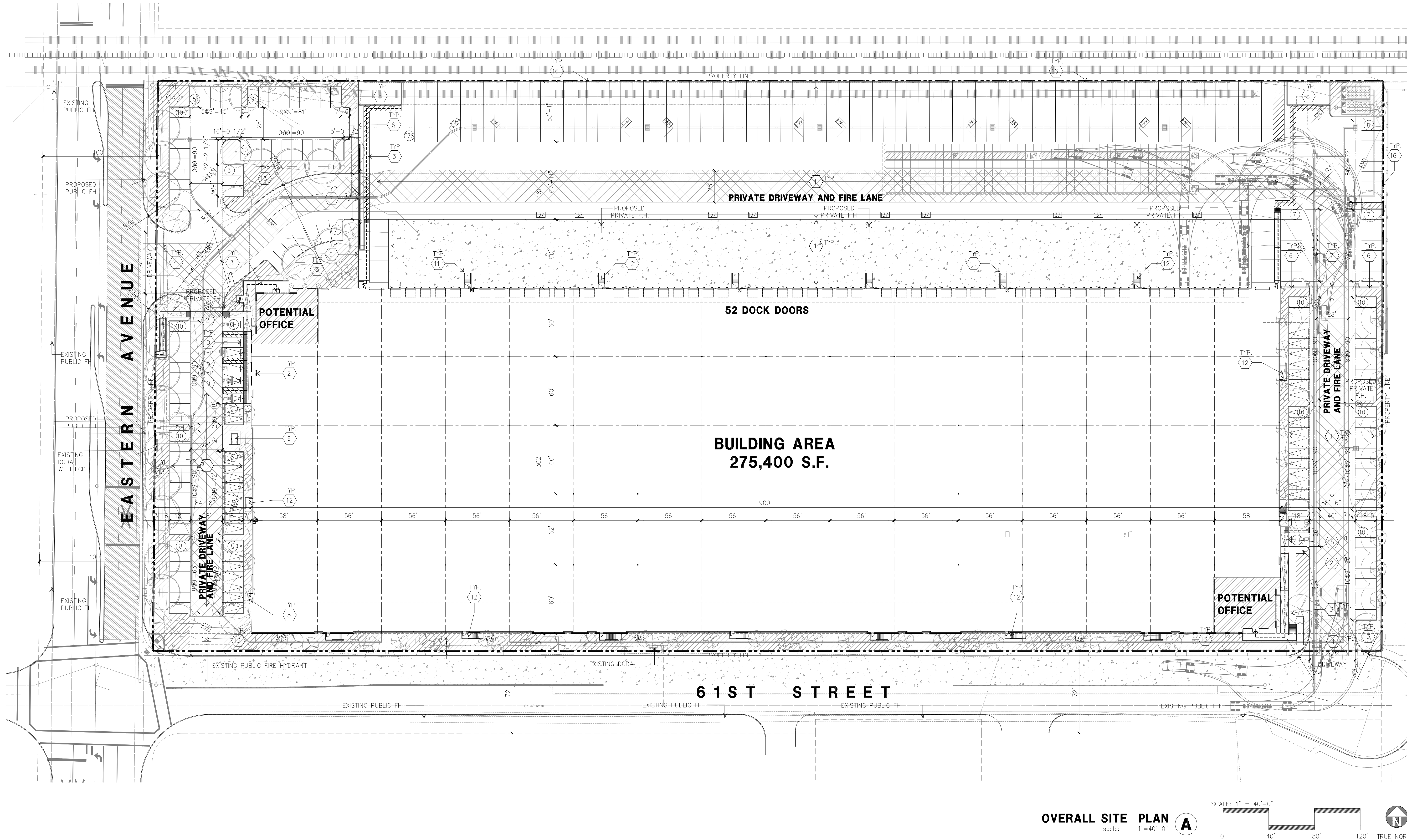
TITLE	Overall Site Plan
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Project Number: 2345
Drawn By: JFO
Date: 01/08/202

Revision:

Sheet:

DAB-A1.1



CODE ANALYSIS:

CONCRETE TILT-UP BUILDING	III-B
CONSTRUCTION TYPE:	1 (WITH 2ND FLOOR FOR OFFICE)
NUMBER OF STORIES:	YES (ESFR)
AUTOMATIC FIRE SPRINKLER	275,400 SF
BUILDING AREA	

FIRE NOTES:

THE REQUIRED FIRE FLOW FROM PUBLIC FIRE HYDRANTS FOR THIS PROJECT IS 4,000 GPM AT 20 PSI RESIDUAL PRESSURE FOR 2 HOURS (REDUCTION INCLUDED PER INFO ON APPLICATION). 3 PUBLIC FIRE HYDRANTS FLOWING SIMULTANEOUSLY FROM THE SAME WATER MAIN MAY BE USED TO ACHIEVE THE REQUIRED FIRE FLOW.

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SCOPE OF WORK

DEMOLITION OF 3 BUILDINGS:
EXISTING BUILDING 1: 200,400 S.F.
EXISTING BUILDING 2: 28,676 S.F.
EXISTING BUILDING 3: 60,346
TOTAL BUILDING DEMOLITION: 289,422 S.F.

NEW BUILDING: 275,400 S.F. WILL INCLUDE FUTURE 2-STORY OFFICES

SITE PLAN KEYNOTES

- HEAVY BROOM FINISH CONC. PAVEMENT.
- BIKE RACK
- CONCRETE WALKWAY
- DRIVEWAY APRONS PER CITY STANDARDS.
- 5'-6"x5'-6"x4" MIN. THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY W/ 1:20 MAX. AS REQ. BY CITY INSPECTOR.
- CONCRETE TILT-UP SCREEN WALL (8 FT HIGH)
- METAL GATES (8 FT) W/ KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 6" HIGH CONCRETE TILT UP TRASH ENCLOSURE. (1,477 SF REQUIRED; 1,480 SF PROVIDED.)
- APPROXIMATE LOCATION OF THE TRANSFORMER AND GENERATOR
- 6" HIGH PRE-CAST CONC. WHEEL STOP
- CONC. FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- EXTERIOR CONC. STAIR.
- LANDSCAPE.
- LANDSCAPE DIAMOND.
- ACCESSIBLE ENTRY SIGN
- ACCESSIBLE PARKING STALL SIGN
- 8" HIGH METAL FENCE
- 12" HIGH WHEEL STOP

SITE LEGEND

LANDSCAPED AREA	LIGHT STANDARD
CONCRETE PAVING SEE "C" DRWS. FOR THICKNESS	EXISTING PUBLIC FIRE HYDRANT
ASPHALT CONCRETE PAVING SEE "C" DRWS. FOR THICKNESS	PRIVATE FIRE HYDRANT- APPROXIMATE LOCATION
STANDARD PARKING STALL (9' X 18')	CATCH BASIN APPROX. LOCATION
ACCESSIBLE PARKING STALL (9' X 18')	WATER LINE
VAN ACCESSIBLE PARKING STALL (12' X 18')	GAS LINE - SEE CIVIL
EV CHARGING STALL W/O EVCS (9'X18') VEHICLE. SEE DETAIL 17A/AD.1.	SEWER LATERAL
EV CHARGING STALL WITH EVCS (9' X 18'). VEHICLE. SEE DETAIL 17B/AD.1. SEE K/AD.6 FOR EV CHARGING PARKING SIGN. ALSO SEE ELECTRICAL DRAWINGS.	
PATH OF TRAVEL	

SITE PLAN GENERAL NOTES

- THE SOILS REPORT PREPARED BY _____ SHOULD BE A PART OF THESE CONTRACT DOCUMENTS.
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
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- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM, PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
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- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
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- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
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- NOT USED
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- NOT USED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT

PROPERTY OWNER

LINK INDUSTRIAL PROPERTIES
3333 MICHAELSON DR.
IRVINE, CA. 92612
909-223-9035

ADDRESS OF THE PROPERTY

6000 S. EASTERN AVENUE
COMMERCE, CA. 90040

ASSESSOR'S PARCEL NUMBER

6332-016-001

ZONING

HEAVY INDUSTRIAL (M-2)

LEGAL DESCRIPTION

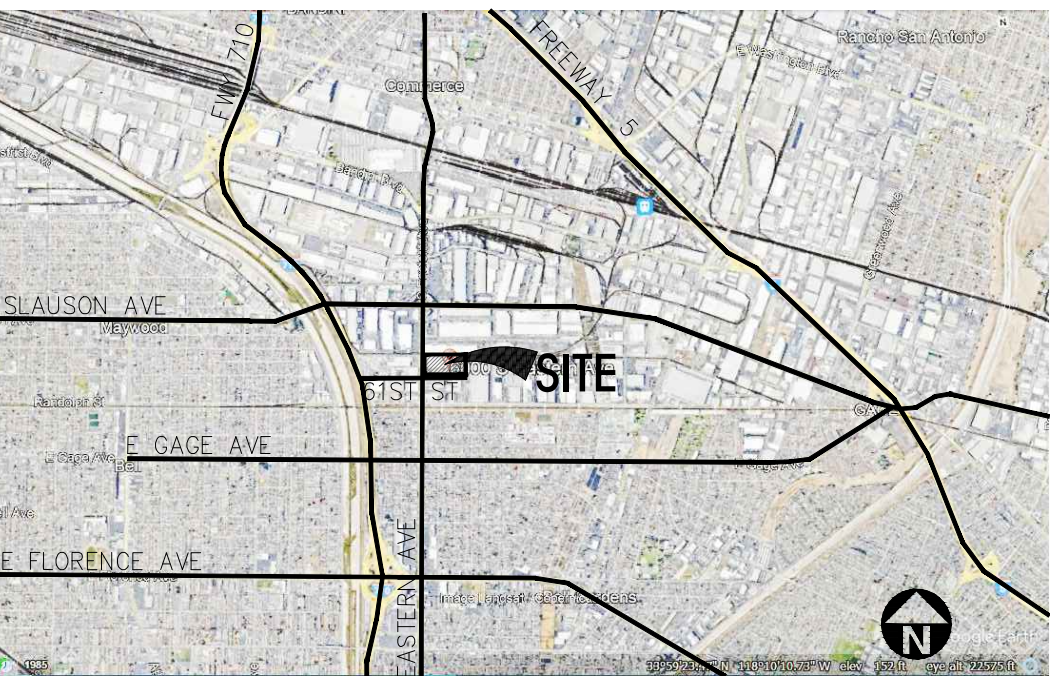
APPLICANT

LINK INDUSTRIAL PROPERTIES
3333 MICHAELSON DR.
IRVINE, CA. 92612
909-223-9035

APPLICANT'S REPRESENTATIVE

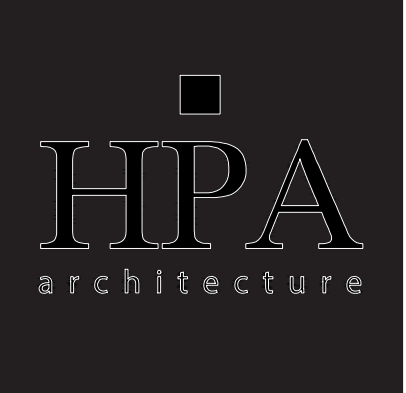
HPA ARCHITECTS
18831 BARDEEN AVENUE
SUITE 100
IRVINE, CA. 92612
949-244-7860
CONTACT: JAIME CRUZ

VICINITY MAP



TABULATION

SITE AREA		
In s.f.	534,046	sf
In acres	12.26	ac
EXISTING BUILDINGS		
Building 1	200,400	sf
Building 2	28,676	sf
Building 3	60,346	sf
Total Existing Building	289,422	sf
NEW BUILDING AREA		
Office #1 first floor	2,500	sf
Office #1 second floor	2,500	sf
Office #1	5,000	sf
Office #2 - first floor	2,500	sf
Office #2 -second floor	2,500	sf
Office #2	5,000	sf
Warehouse	265,400	sf
Total	275,400	sf
Propose Trash Enclosure	1,480	sf
FLOOR AREA RATIO		
Maximum Allowed	1.00	
Existing	0.54	
Proposed	0.52	
LOT COVERAGE		
Maximum Allowed	0.60	
Existing	0.54	
Proposed	0.51	
AUTO PARKING REQUIRED		
Office: 10,000/300 s.f.	34	stalls
Whse: 265,400/2,000 s.f.	133	stalls
Total parking required	167	stalls
LOADING BAY REQUIRED: 52/1		
52 / 1	52	stalls
ADA PARKING REQUIRED		
ADA Van (12'x18'+5' aisle)	1	stalls
ADA Std. (9'x18'+5' aisle)	5	stalls
Total	6	stalls
EV PARKING REQUIRED		
EV Capable w/ th EVSE	9	stalls
EV Capable w/ o EVSE	24	stalls
EV ADA w/ th EVSC (12'X18'+5' aisle)	1	stalls
EV std. w/ th EVSC (9'X18'+5' aisle)	1	stalls
Total	35	stalls
AUTO PARKING PROVIDED		
Standard (9' x 18')	127	stalls
ADA Van (12'x18'+5' aisle)	1	stalls
ADA Std. (9'x18'+5' aisle)	5	stalls
EV Capable w/ th EVSE	9	stalls
EV Capable w/ o EVSE	24	stalls
EV ADA w/ th EVSC (12'X18'+5' aisle)	1	stalls
EV std. w/ th EVSC (9'X18'+5' aisle)	1	stalls
Total	168	stalls
LOADING BAY PROVIDED:		
Trailer (10' x 53')	76	stalls
ZONING ORDINANCE		
Zoning - Heavy Industrial M2		
BUILDING HEIGHT		
Varies between 40'-0" and 45'-0" (No maximum height)		
LANDSCAPE REQUIREMENT		
Percentage - 5%		
LANDSCAPE PROVIDED		
In s.f.	34,335	sf
Percentage	6.4%	
SETBACKS		
Building		Parking
Front provided: 84'-8"		10' between street
Front Required: 15'		
North Side Provided: 181'		
North Side Required: none		
South side Provided: 15'-0"		
South side Required: none		
Rear Side Provided: 88'-6"		
Rear Side Required: none		



HPA Inc.
18831 Bardeen Avenue, Ste.100
Irvine, CA 92612
Tel : 949-863-1770

Owner:

Link Industrial
Properties



3401 Etiwanda Avenue
Jurupa Valley, CA. 91752
Tel : 909-223-9035

Project:

Ponderosa
Commerce
Center

6000 S. Eastern Ave.
Commerce, CA. 90040

Consultants:

CIVIL	-
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	-
FIRE	-
SOILS	-

TITLE Overall Site Plan

Project Number: 23453
Drawn By: JFC
Date: 01/08/2025

Revision:

Sheet:

DAB-A1.1



HPA Inc.
18831 Bardeen Avenue, Ste.100
Irvine, CA 92612
Tel : 949-863-1770

3401 Etiwanda Avenue
Jurupa Valley, CA. 91752
Tel : 909-223-9035

6000 S. Eastern Ave.
Commerce, CA, 90040

- CIVIL
- STRUCTURAL
- MECHANICAL
- PLUMBING
- ELECTRICAL
- LANDSCAPE
- FIRE
- SOILS

TITLE

overall floor plan

Project Number: 2345

Drawn By: JF

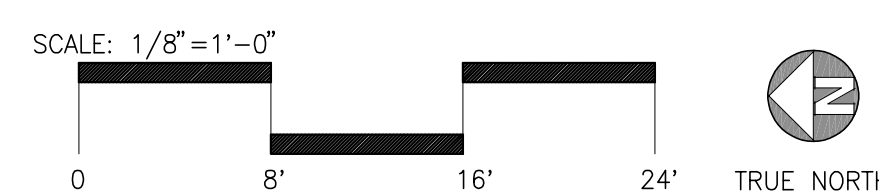
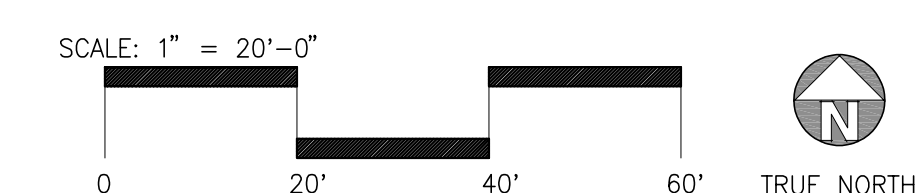
Date: 01/08/202

Revision:

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Sheet:

DAB-A2.1



THESE NOTES ARE VERY MIN. REQUIREMENT.

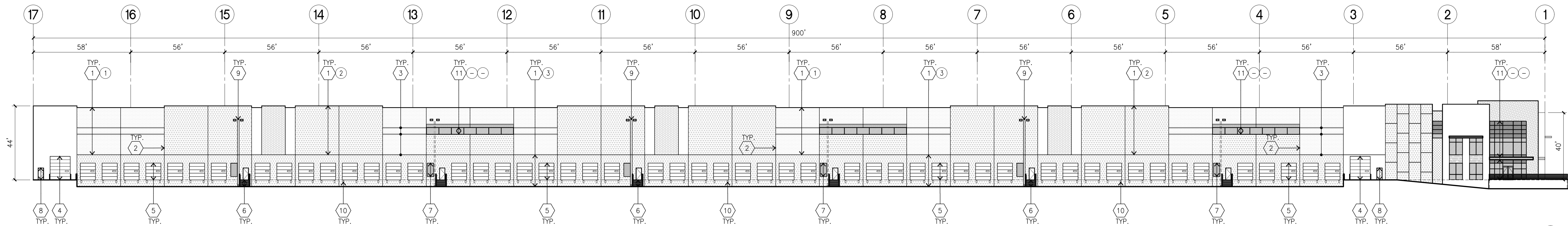
13. SEAL CONCRETE SLAB W/ "LAPIDOLITH" SEALER

1	CONCRETE TILT-UP PANEL.	8	LOUVERED OPENING FOR VENTILATION.
2	STRUCTURAL STEEL COLUMN.	9	DOCK DOOR BUMPER
3	TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.	10	12' X 14' DRIVE THRU. SECTIONAL OH., STANDARD GRADE.
4	CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL BLOW-UP AND WALL ON BOTH SIDE OF RAMP.	11	3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
5	9'-0" X 10' TRUCK DOOR, SECTIONAL O'H., STANDARD GRADE.	12	SOFFIT LINE ABOVE
6	EXTERIOR CONCRETE STAIR	13	Z GUARD
7	3'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDSCAP PAD TYPICAL AT EXTERIOR DOORS TO LANDSCAP AREA. FINISH TO BE MEDIUM BOLD FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO HARD SURFACE	14	CONC. FILLED GARD POST. 6" DIA. U.N.O.. 42"H.
		15	EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER,
		16	LONG TERM BIKE RACK.

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY, ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOD EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.

- I. FOR DOOR TYPES AND SIZES, SEE DOOR SCHEDULE
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT DAM DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE. 
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT".
THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR, PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE DAB-A4.1 OFFICE SECTION.

CAUTION : IF THIS SHEET IS NOT 30"X42" IT IS A REDUCED PRINT



NORTH ELEVATION

scale: 1" = 30'-0"

KEYNOTES - ELEVATIONS

- CONCRETE TILT-UP PANEL(PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- PANEL JOINT.
- PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR, U.N.O.
- OVERHEAD DOOR @ DRIVE THRU. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. DESIGN TO RESIST 90 MPH WIND EXPOSURE "C".
- OVERHEAD DOOR @ DOCK HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. DESIGN TO RESIST 110 MPH WIND EXPOSURE "C".
- CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- METAL LOWER, DESIGN TO RESIST 90 MPH WIND EXPOSURE "C". PAINT TO MATCH BUILDING COLOR
- HOLLOW METAL DOORS. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR. DESIGN TO RESIST 90 MPH WIND EXPOSURE "C".
- EXTERIOR DOWNSPOUT AND OVERFLOW SCUPPER
- DOCK BUMPER
- ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS, SIDESETS ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION. DESIGN TO RESIST 90 MPH WIND EXPOSURE "C".
- EXTERIOR LIGHTING FIXTURE
- PAINTED METAL AWNING
- WALL SCONCE
- KNOCK-OUT PANEL

GENERAL NOTES - ELEVATIONS

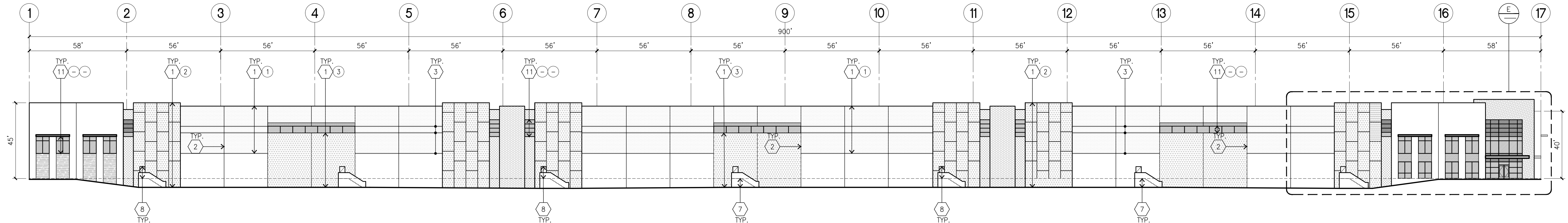
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL= TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

COLOR SCHED. - ELEVATIONS

- | | |
|---|---|
| 1 | CONCRETE TILT-UP PANEL PAINT BRAND_SW 7636 ORIGAMI WHITE |
| 2 | CONCRETE TILT-UP PANEL PAINT BRAND_SW 6002 ESSENTIAL GRAY |
| 3 | CONCRETE TILT-UP PANEL PAINT BRAND_SW 2819 DOWNING SLATE |
| | CONCRETE TILT-UP PANEL PAINT BRAND_--- |
| | CONCRETE TILT-UP PANEL PAINT BRAND_--- |
| | PPG VISTACOOL (2) PACIFICA + COLOR SOLARBAN 60 (3) CLEAR |
| | GLAZING |
| | MULLIONS |
| | PAINT BRAND_CLEAR ANODIZED |

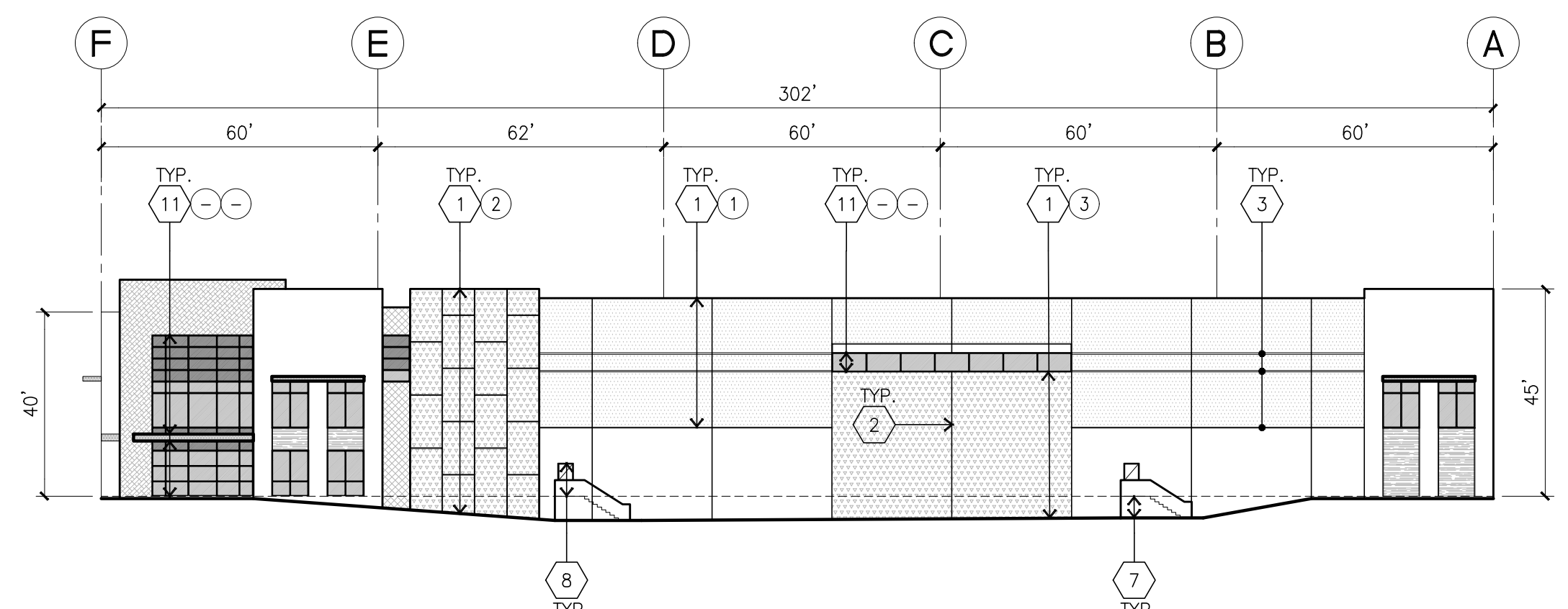
GLAZING LEGEND

- | | |
|-------------------------|-----------------------|
| TEMPERED SPANDREL GLASS | TEMPERED VISION GLASS |
|-------------------------|-----------------------|



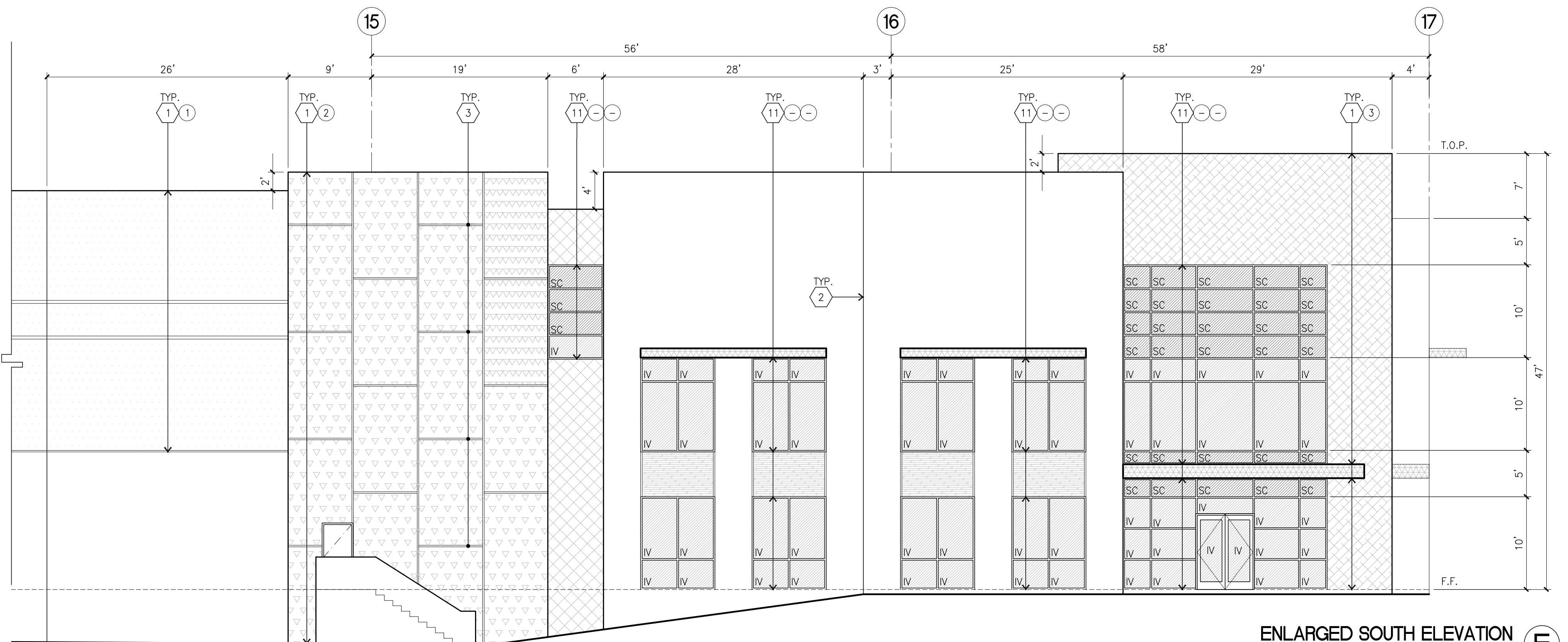
SOUTH ELEVATION

scale: 1" = 30'-0"



EAST ELEVATION

scale: 1" = 30'-0"



ENLARGED SOUTH ELEVATION

scale: 1/8" = 1'-0"



HPA Inc.
18831 Bardeen Avenue, Ste.100
Irvine, CA 92612

Tel : 949-863-1770



3401 Etowanda Avenue
Jurupa Valley, CA. 91752
Tel : 909-223-9035

Project:

Ponderosa
Commerce
Center

6000 S. Eastern Ave.
Commerce, CA. 90040

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE
SOILS

TITLE

elevation

Project Number: 23453
Drawn By: JFC
Date: 01/08/2025

Revision:

Sheet:

DAB-A3.1



3401 Etiwanda Avenue
Jurupa Valley, CA. 91752
Tel : 909-223-9035

Ponderosa
Commerce
Center

6000 S. Eastern Ave.
Commerce, CA. 90040

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE
SOILS

TITLE	Overall Existing Site Pla
-------	---------------------------

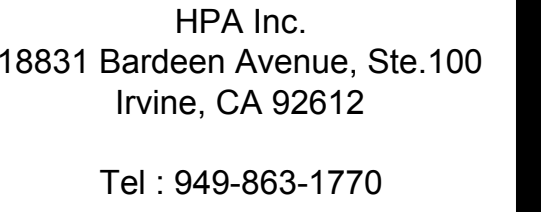
Project Number: 2345
 Drawn By: JFC
 Date: 01/08/202

Revision:

Sheet:

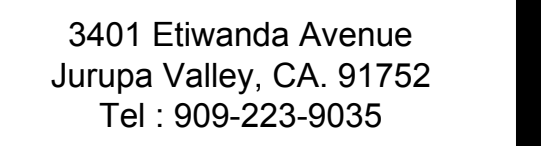
DAB-A1.1E

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Owner:

Link Industrial Properties



project:

Ponderosa
Commerce
Center

000 S. Eastern Ave.
Commerce, CA. 90040

Consultants:

- CIVIL -
- STRUCTURAL -
- MECHANICAL -
- PLUMBING -
- ELECTRICAL -
- LANDSCAPE -
- IRE -
- OILS -

TITLE	Overall Fence Plan
-------	--------------------

Project Number: 23453
Drawn By: JFC
Date: 01/08/2025

Revision:

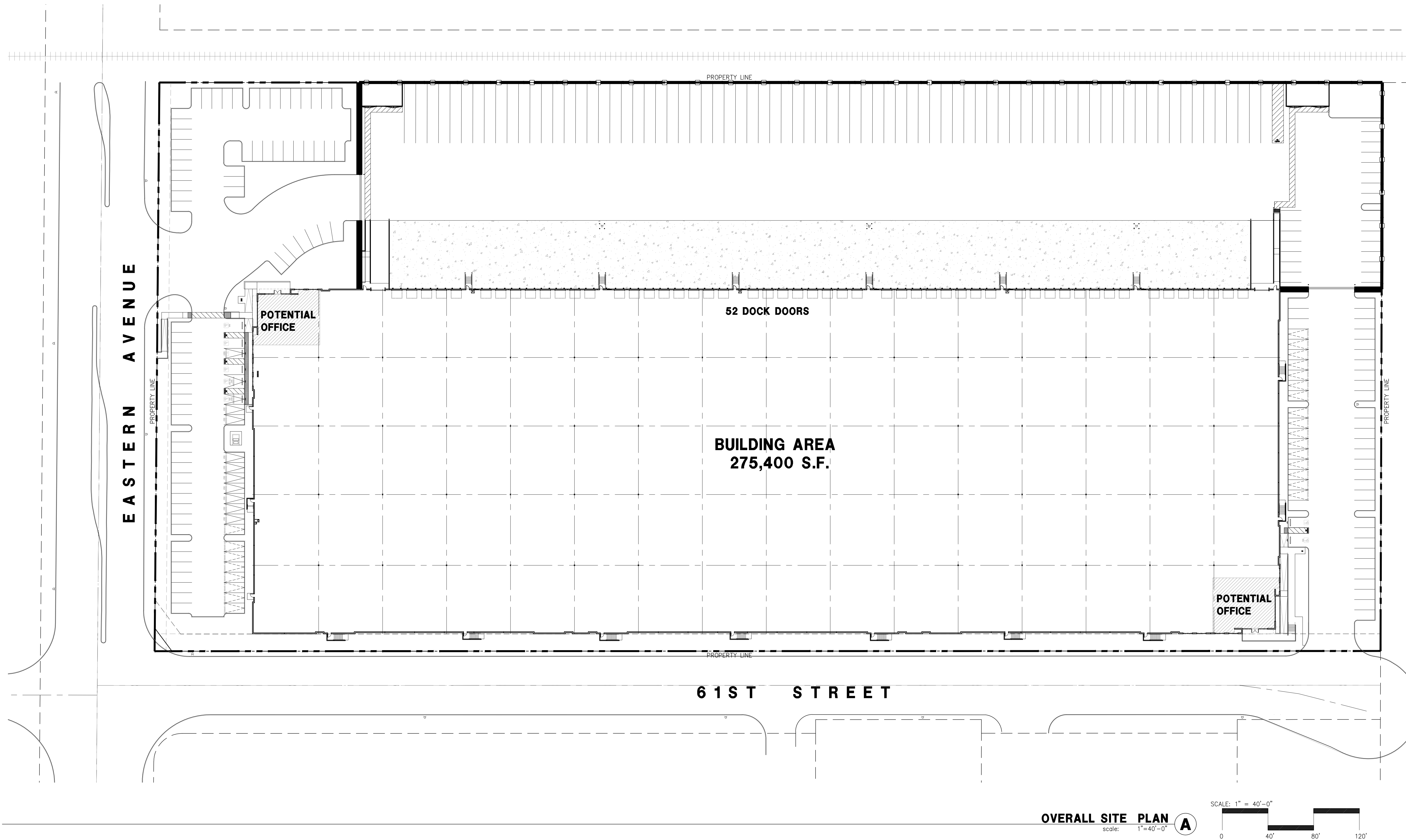
heet:

DAB-A1.1F

8' HIGH CONCRETE SCREEN WALL
189'-7" L.F. (APPROX.)

8' HIGH WROUGHT IRON FENCE
1,076'-8" (APPROX.)

TOTAL LINEAR FEET: 1077'-3"



CAUTION : IF THIS SHEET IS NOT 30"X42" IT IS A REDUCED PRINT

 LINK

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Jurupa Valley, CA. 91752
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Commerce, CA, 90040

- CIVIL
- STRUCTURAL
- MECHANICAL
- PLUMBING
- ELECTRICAL
- LANDSCAPE
- FIRE
- SOILS

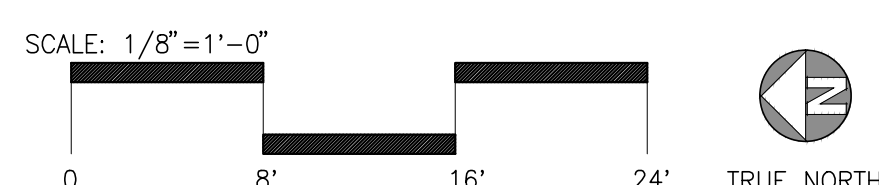
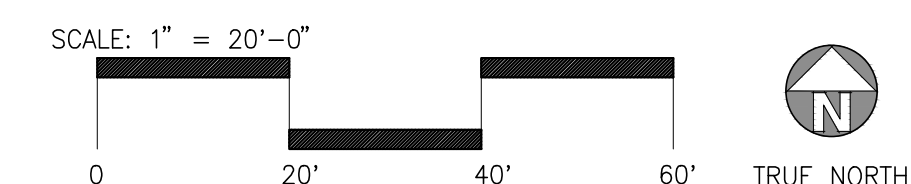
TITLE overall floor plan

Project Number: 2345
Drawn By: JFC
Date: 01/08/202

Revision:

Sheet:

DAB-A2.1



THESE NOTES ARE VERY MIN. REQUIREMENT.

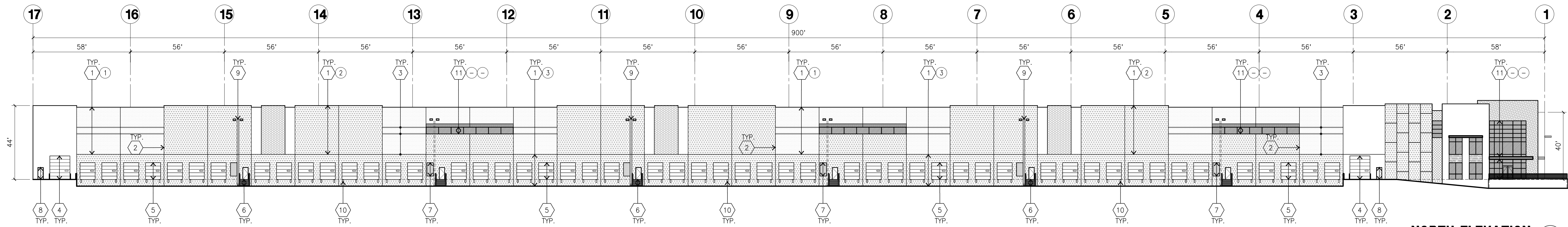
13. SEAL CONCRETE SLAB W/ "LAPIDOLITH" SEALER

(1) CONCRETE TILT-UP PANEL.	(8) LOUVERED OPENING FOR VENTILATION.
(2) STRUCTURAL STEEL COLUMN.	(9) DOCK DOOR BUMPER
(3) TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.	(10) 12" X 14" DRIVE THRU. SECTIONAL OH., STANDARD GRADE
(4) CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL BLOW-UP AND WALL ON BOTH SIDE OF RAMP.	(11) 3"x7" HOLLOW METAL EXTERIOR MAN DOOR.
(5) 9'-0" X 10' TRUCK DOOR, SECTIONAL O'H., STANDARD GRADE.	(12) SOFFIT LINE ABOVE
(6) EXTERIOR CONCRETE STAIR	(13) Z GUARD
(7) 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT EXTERIOR MAIN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOW FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO HARD SURFACE	(14) CONC. FILLED GARD POST. 6" DIA. U.N.O.. 42"H.
	(15) EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
	(16) LONG TERM BIKE RACK.

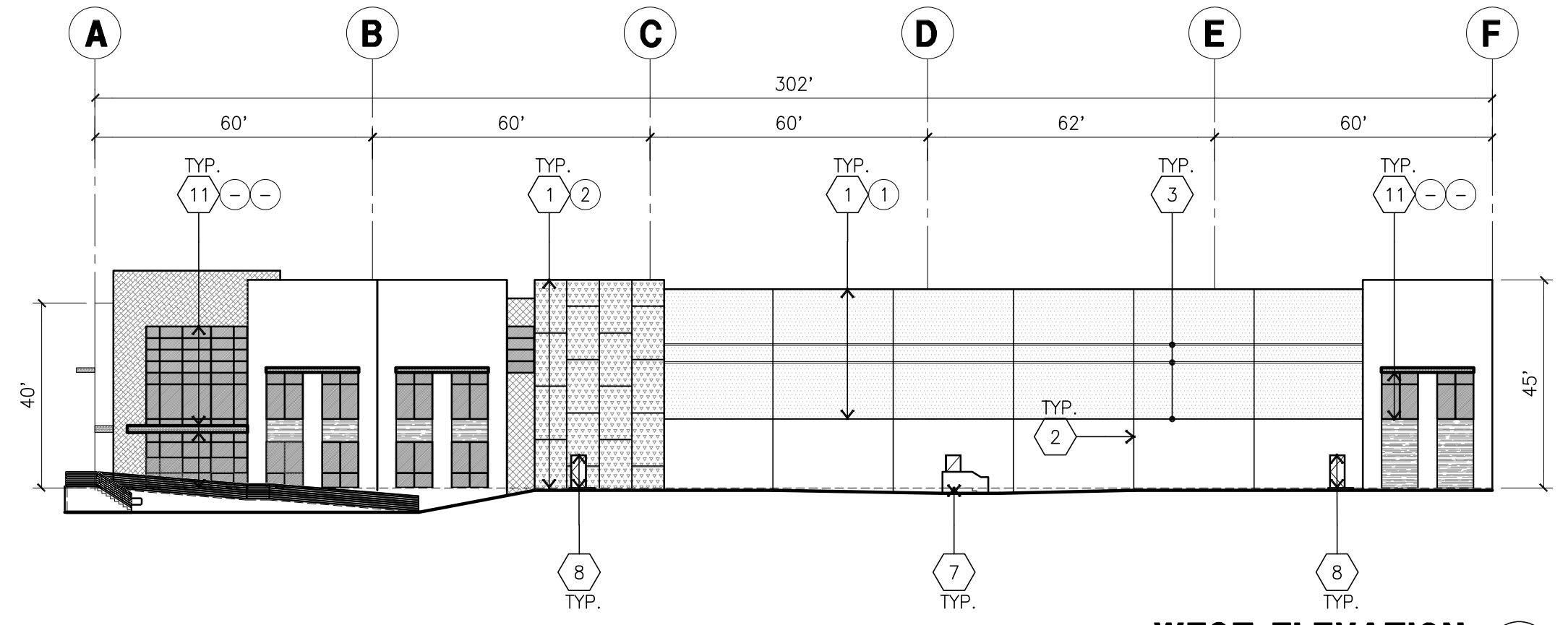
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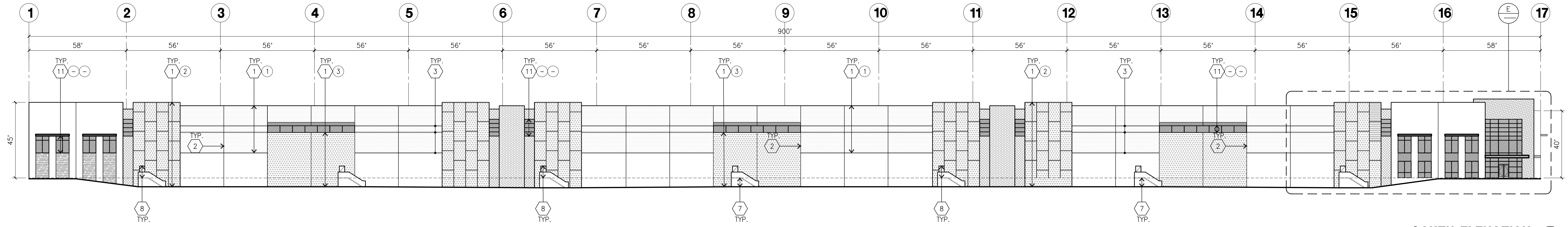
CAUTION : IF THIS SHEET IS NOT 30"X42" IT IS A REDUCED PRINT



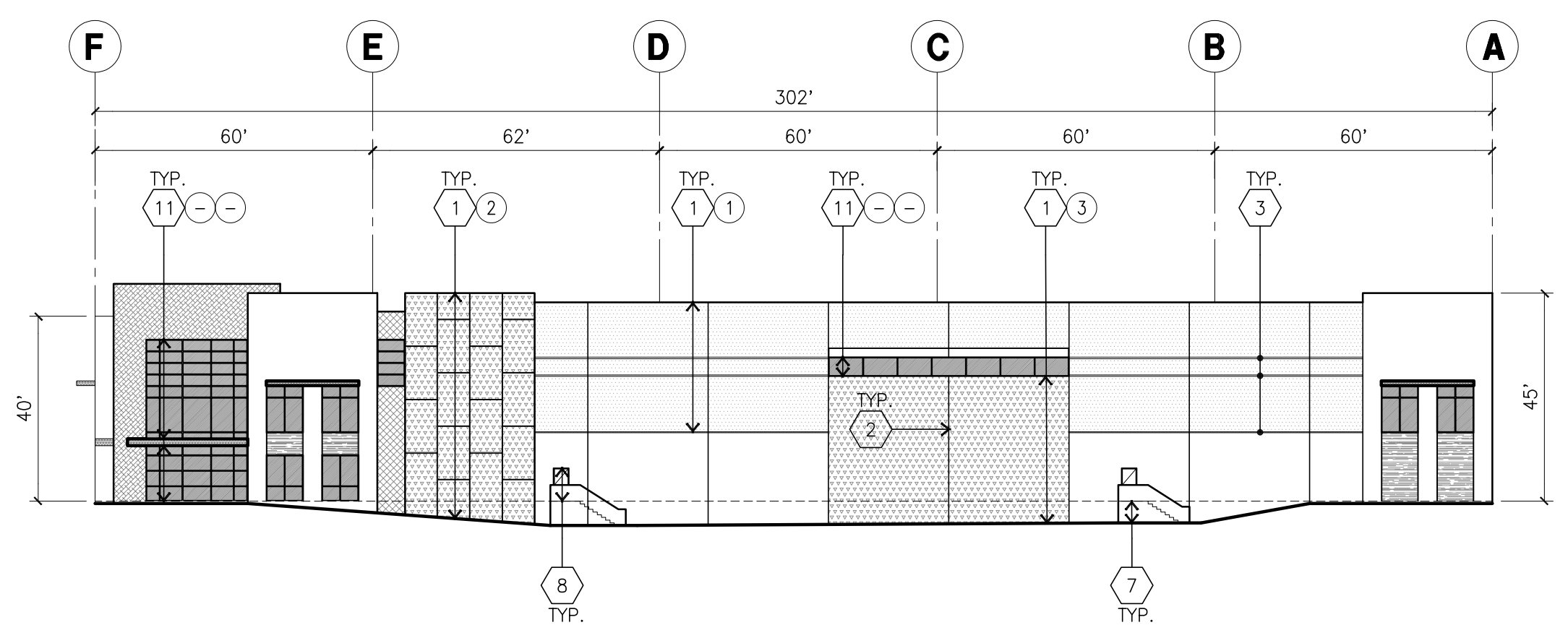
NORTH ELEVATION
scale: 1" = 30'-0"



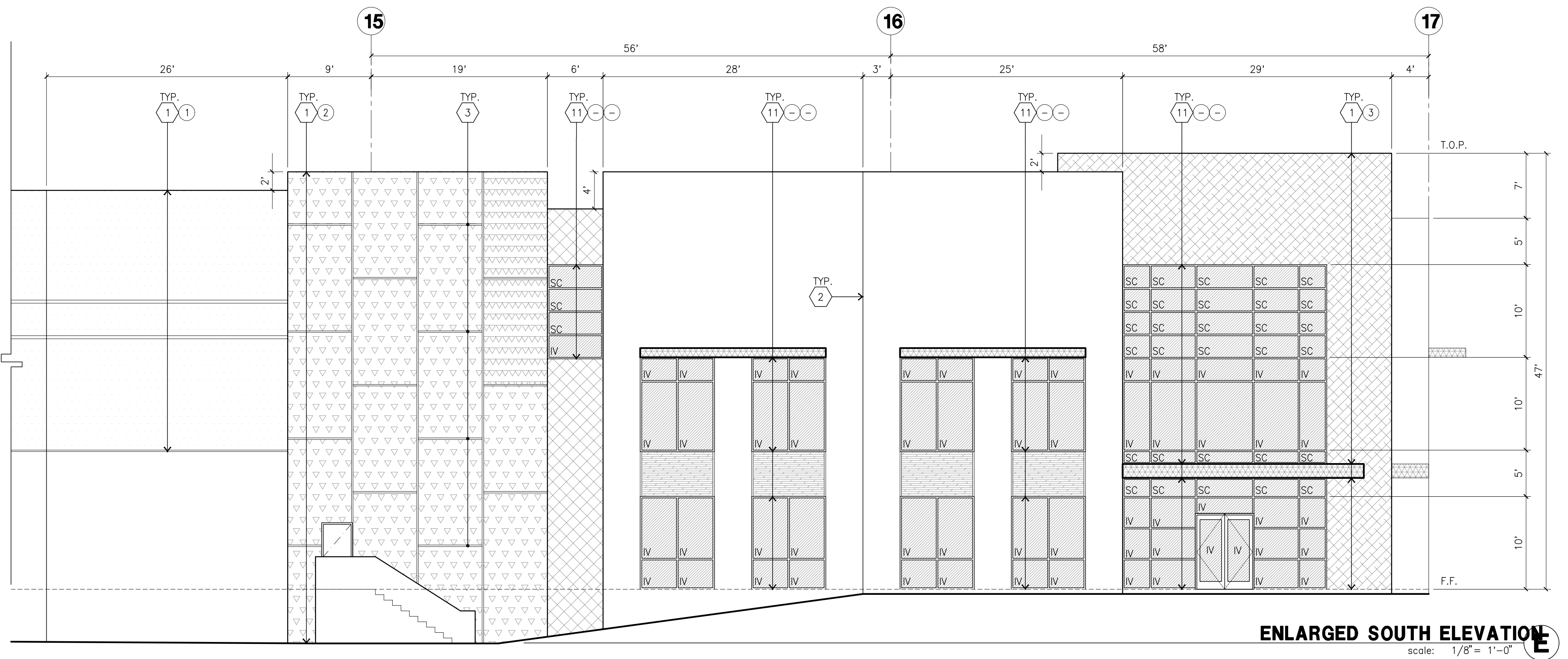
WEST ELEVATION
scale: 1" = 30'-0"



SOUTH ELEVATION
scale: 1" = 30'-0"



EAST ELEVATION
scale: 1" = 30'-0"



ENLARGED SOUTH ELEVATION
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

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- WALL SCONCE
- KNOCK-OUT PANEL

GENERAL NOTES - ELEVATIONS

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COLOR SCHED. - ELEVATIONS

- | | |
|----|---|
| 1 | CONCRETE TILT-UP PANEL PAINT BRAND_SW 7636 ORIGAMI WHITE |
| 2 | CONCRETE TILT-UP PANEL PAINT BRAND_SW 6002 ESSENTIAL GRAY |
| 3 | CONCRETE TILT-UP PANEL PAINT BRAND_SW 2819 DOWNING SLATE |
| 4 | CONCRETE TILT-UP PANEL PAINT BRAND_SW 7075 WEB GRAY |
| 5 | CONCRETE TILT-UP PANEL PAINT BRAND_SW 6996 BLACK OF NIGHT |
| 6 | CONCRETE TILT-UP PANEL PAINT BRAND_SW 6108 LATTE |
| 7 | CONCRETE TILT-UP PANEL PAINT BRAND_ROCA TILE ABBEY ROBLE |
| 8 | MULLIONS PAINT BRAND_BLACK ANODIZED |
| 9 | GLAZING PPG VISTACOOL (2) PACIFICA + COLOR_SOLARBAN 60 (3) CLEAR BLUE |
| 10 | METAL CANOPY PAINT: SHERWIN WILLIAMS COLOR_SW 6993 BLACK OF NIGHT |

GLAZING LEGEND

- | | |
|-------------------------|-----------------------|
| TEMPERED SPANDREL GLASS | TEMPERED VISION GLASS |
|-------------------------|-----------------------|



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Tel : 909-223-9035

Project:

**Ponderosa
Commerce
Center**

6000 S. Eastern Ave.
Commerce, CA 90040

Consultants:

CIVIL	-
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	-
FIRE	-
SOILS	-

TITLE
elevation
Project Number: 23453
Drawn By: JFC
Date: 01/08/2025

Revision:

Sheet:

DAB-A3.1



3401 Etiwanda Avenue
Jurupa Valley, CA. 91752
Tel : 909-223-9035

6000 S. Eastern Ave.
Commerce, CA. 90040

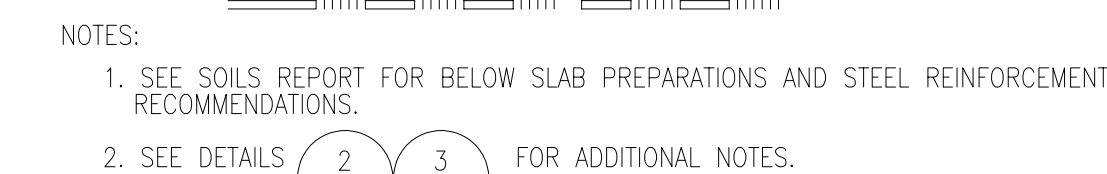
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- STRUCTURAL
- MECHANICAL
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- ELECTRICAL
- LANDSCAPE
- FIRE
- SOILS

Project Number: 2345
Drawn By: JFC
Date: 01/08/202

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Sheet: _____

DAB-A4.1

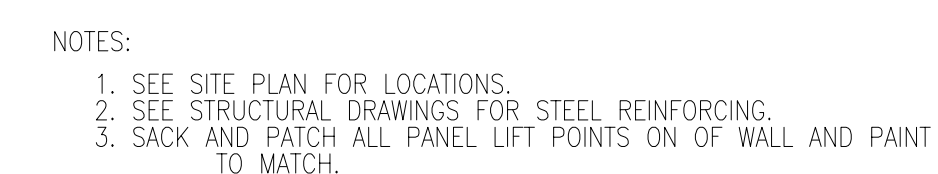


TRASH ENCLOSURE SECTION

SCALE: $1/2" = 1'-0"$

10502C

1



TRASH ENCLOSURE PLAN

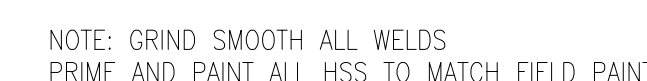
SCALE: 3/8" = 1'-0"

TEMP502A

2



TRASH ENCLOSURE GATE & HINGE
SCALE: 3"=1'-0" 10506C 4



TRASH ENCLOSURE ROOF PLAN

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